

DESIGN CRITERIA

2018 CT STATE BUILDING CODE, WHICH ADOPTS:
- 2015 IBC, IEBC, IPC, IMC, IECC & IRC + AMENDMENTS
- 2017 NEC (NFPA 70) + AMENDMENTS
- 2009 ICC ANSI A117.1 + AMENDMENTS
2018 CT STATE FIRE PREV. CODE, WHICH ADOPTS:
- 2015 NFPA 1 + AMENDMENTS

REGION INFO

CLIMATE	
FROST DEPTH LINE	3' 6" (42")
GROUND SNOW LOAD	35 PSF
CLIMATE ZONE	5A
MEAN ANNUAL TEMP	50° F
WINTER DESIGN TEMP	7° F
AIR FREEZING INDEX	2,000
ICE BARRIER REQUIRED	YES
WEATHERING	SEVERE
TERMITE	MODERATE-HEAVY

FLOOD	
FLOOD ZONE	X
FLOOD MAP PANEL #	0901178 0005 A

WIND	
EXPOSURE CATEGORY	B
SURFACE ROUGHNESS CATEGORY	B
ULTIMATE DESIGN WIND SPEED	120 MPH
NOMINAL WIND SPEED	93 MPH
WIND-BORNE DEBRIS REGION	NO
HURRICANE-PRONE REGION	YES

SEISMIC	
SEISMIC DESIGN CATEGORY	B
MCE SPECTRAL ACCELERATIONS	SHORT: 0.190G 1 SEC: 0.065G

CONTACT INFO

OWNER
FRED & LIESBETH MILLSPAUGH
648 CHAMPIONSHIP DRIVE
OXFORD, CT 06478
LIESBETH@MILLSPAUGH.NET
PHONE: 203-266-7476

BUILDER
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101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
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PHONE: 203-266-5252 / FAX: 203-266-5262

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SURVEYOR
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WOODBURY, CT 06798
MIKE@RIORDANLS.COM
PHONE: 203-263-2127 / FAX: 203-263-4139
CELL: 203-206-7059

TRUSS MANUFACTURER
TBD

LOT INFO

LOCATION
STATE CONNECTICUT
COUNTY LITCHFIELD
MUNICIPALITY BETHLEHEM

JOB SITE ADDRESS
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

ASSESSOR INFO
PARCEL ID 1543
ACCOUNT # 101632
MAP 11
BLOCK 5
LOT 16

LOT SIZE 7.78 ACRES

DISTURBED AREA 1.46 ACRES

SOIL
SITE CLASS D
SOIL GROUP II
SOIL CLASS ML
SOIL DENSITY 2,000 PSF ALLOWABLE (ASSUMED)
TO BE AT TIME OF EXCAVATION

MUNICIPALITY INFO

HEALTH DISTRICT
TORRINGTON AREA HEALTH DISTRICT
350 MAIN STREET, SUITE A
TORRINGTON, CT 06790
WWW.TAHD.ORG
PHONE: 860-489-0436 / FAX: 860-496-8243
MON/TUE/THU 8AM-4PM
WED 8AM-6PM, FRI 8AM-1PM

BUILDING OFFICIAL
CHRIS ZIBELL, TOWN OF BETHLEHEM
36 MAIN STREET SOUTH
BETHLEHEM, CT 06751
CZIBELL@BETHLEHEMCT.ORG
PHONE: 203-266-7510 EXT 4 / FAX: 203-266-7670
TUE-FRI 8:00 AM - 1:00 PM

ASSESSOR
LINDA BERTACCHINI, TOWN OF BETHLEHEM
36 MAIN STREET SOUTH
BETHLEHEM, CT 06751
ASSESSOR010@YAHOO.COM
PHONE: 203-266-7510 EXT 3 / FAX: 203-266-7670
TUE-FRI 9:00 AM - 12:00 PM
ASSISTANT ASSESSOR:
- ELAINE BRODEUR / 203-266-7510 EXT 204

LAND USE COORDINATOR (INLAND WETLANDS)
NORMA CAREY, TOWN OF BETHLEHEM
36 MAIN STREET SOUTH
BETHLEHEM, CT 06751
LANDUSE@BETHLEHEMCT.ORG
PHONE: 203-266-7510 EXT 209 / FAX: 203-266-7670
TUESDAY 9:00 AM - 12:00 PM

FIRE MARSHAL
PHONE: 203-266-7510 EXT 6

CALL BEFORE YOU DIG
2040 WHITNEY AVENUE
HAMDEN, CT 06517
WWW.CBYD.COM
PHONE: 811 OR 800-922-4455

EVERSOURCE
MARK BOVAT, DISTRIBUTION ENGINEERING DESIGNER
MARK.BOVAT@EVERSOURCE.COM
PHONE: 860-496-5234

STATE OF CT DEPARTMENT OF TRANSPORTATION
RONALD FERRIS, DISTRICT 4 OFFICE OF PERMITS
359 SOUTH MAIN STREET
THOMASTON, CT 06787
RONALD.FERRIS@CT.GOV
PHONE: 203-591-3627 / FAX: 203-591-3733

BLUEBIRD MEADOWS
PHASE I

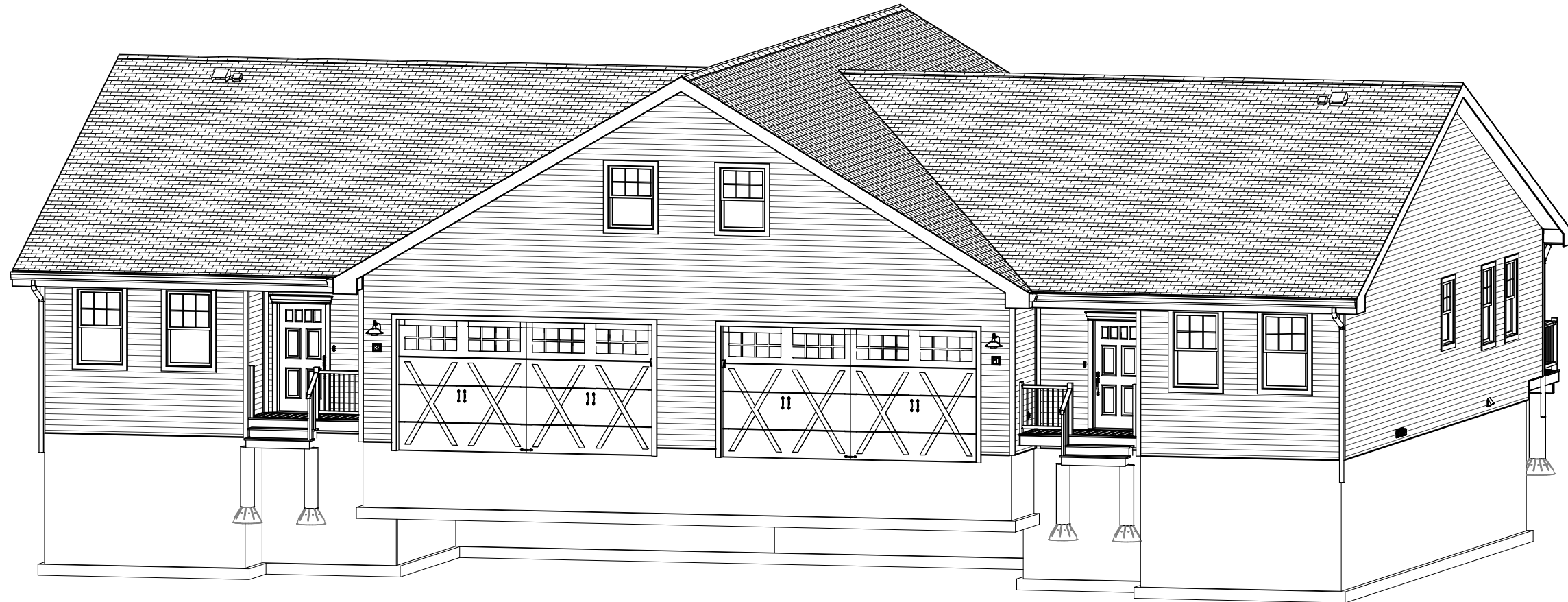


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BUILDING INFO

GENERAL
STORIES 1
RISK CATEGORY II
STYLE TWO-FAMILY
FOUNDATION 8' BASEMENT
USE & OCCUPANCY CLASS RESIDENTIAL GROUP R-3
CONSTRUCTION TYPE LIGHT-FRAME
CONSTRUCTION CLASS TYPE V-B
ROOF ASSEMBLY CLASS A
FOOTPRINT 81' 4" X 51' 2" (3,877 SQ FT)

BEDROOMS
UNIT A 2
UNIT B 2
TOTAL 4
BATHROOMS
UNIT A 2 FULL
UNIT B 2 FULL
TOTAL 4 FULL

FRAMING
EXTERIOR WALLS 2X6 24" OC
INTERIOR WALLS 2X4 16" OC (9' HIGH)
FLOOR JOISTS 11 7/8" I-JOIST 24" OC
DECK JOISTS 2X8 16" OC
ROOF TRUSSES 24" OC
OVERHANGS 18"

ENERGY INFO

WALL AREA ² (GROSS)
NORTH 661. SQ FT
SOUTH 661 SQ FT
EAST 726 SQ FT
WEST 662 SQ FT
TOTAL 2,710 SQ FT

WALL AREA ² (NET ²)
NORTH 601 SQ FT
SOUTH 601 SQ FT
EAST 590 SQ FT
WEST 498 SQ FT
TOTAL 2,290 SQ FT

WINDOW AREA
NORTH 40 SQ FT
SOUTH 40 SQ FT
EAST 56 SQ FT
WEST 84 SQ FT
TOTAL 220 SQ FT

DOOR AREA
NORTH 20 SQ FT
SOUTH 20 SQ FT
EAST 80 SQ FT
WEST 80 SQ FT
TOTAL 200 SQ FT

FLOOR AREA ¹ 2,596 SQ FT
CEILING AREA 2,741 SQ FT
ROOF AREA 5,010 SQ FT

BUILDING AREA
LIVABLE (SQ FT)
UNIT A 1,447 1,299
UNIT B 1,447 1,299
TOTAL 2,894 2,598

NON-LIVABLE
UNIT A 684 636
- DECKS 189 179
- GARAGE 413 387
- STORAGE 22 18
- OPEN BELOW 54 49
- FIREPLACE BOX 6 3
UNIT B 684 636
- DECKS 189 179
- GARAGE 413 387
- STORAGE 22 18
- OPEN BELOW 54 49
- FIREPLACE BOX 6 3
TOTAL 1,368 1,272

BASEMENT
UNIT A 1,525 1,427
UNIT B 1,525 1,427
TOTAL 3,050 2,854

LOADS

ROOF SPANS
FRONT/BACK 40' 8"
SIDES 49' 9"
SLOPED ROOF SNOW LOAD
FRONT/BACK 30 PSF
SIDES 30 PSF
LIVE LOADS
ROOF 20 PSF
1ST FL 40 PSF
DECK 60 PSF
DEAD LOADS
TOP CHORD DL 15 PSF
BOTTOM CHORD DL 10 PSF
GROUND SNOW LOAD 35 PSF

ELEVATIONS / HEIGHTS

ROOF
SUBFLOOR TO MAX RIDGE 21' 7 3/16" (259 3/16")
STEM WALL TO MAX RIDGE 22' 9 5/16" (273 5/16")
GRADE TO MAX RIDGE 23' 3 5/16" (279 5/16")
MEAN ROOF HEIGHT 15' 4 5/32" (184 5/32")
EAVE TO MAX RIDGE 12' 6 1/16" (150 1/16")
EAVE (TOP OF PLATE) 9' 1 1/8" (109 1/8")
FLOOR 1
WALL ASSEMBLY 10' 1 3/4" (121 3/4")
WALL STUD 9' 1 1/8" (109 1/8")
WINDOW 8' 8 5/8" (104 5/8")
DOOR 4' 8 1/2" (56 1/2" / BOTTOM = 36" / TOP = 92 1/2")
FLOOR JOIST 6' 8" (80")
11 7/8"
FOUNDATION
BASEMENT 8' 9 1/2" (105 1/2")
GARAGE SLAB 7' 9 1/2" (93 1/2")
STEM WALL 4" (6" BELOW STEM WALL TOP)
BASEMENT SLAB 8' (96" / THICKNESS = 8")
4"
SLAB GRAVEL 4"
FOOTING 8" (WIDTH = 1' 4" / 16")

- FLOOR AREA OVER UNCONDITIONED BASEMENT.
- WALL AREA = WALLS FACING UNCONDITIONED SPACE (EXTERIOR OR GARAGE).
- NET WALL AREA = GROSS WALL AREA MINUS THE WINDOW & DOOR AREA.
- GROSS FLOOR AREA IS MEASURED TO THE OUTSIDE OF EXTERIOR WALLS & MIDDLE OF INTERIOR WALLS.
- INTERIOR FLOOR AREA IS MEASURED TO THE INSIDE FINISHED SURFACE OF WALLS (CABINETS AND FIXTURES NOT SUBTRACTED).

INSULATION

LOCATION	USED IN BUILDING	IECC R402.1.2 (IRC N1102.1.2) INSULATION AND FENESTRATION CRITERIA - ZONE 5A
ENTRY DOOR U-FACTOR	0.22	MAX 0.32
DECK SLIDER U-FACTOR	0.30	MAX 0.32
WINDOWS U-FACTOR	0.29	MAX 0.32
CEILING	R-49 CAVITY	MIN R-49
EXTERIOR WALLS	R-19 CAVITY + R-6.6 CONTINUOUS	MIN R-20 OR R-13 CAVITY + R-5 CONTINUOUS
FLOORS	R-30 CAVITY	MIN R-30 OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MIN
BASEMENT WALLS	R-15	MIN R-15 CONTINUOUS OR R-19 CAVITY
SLABS	R-10, 4 FT DEEP	MIN R-10, 2 FT DEEP
DUCTS (IECC R403.3.1 / IRC N1103.3.1)	>= CODE REQ	MIN R-8 (>=3" IN ATTIC) / R-6 (<3" IN ATTIC OR >=3" ELSEWHERE) / R-4.2 (<3" ELSEWHERE). EXEMPT IN CONDITIONED SPACES.
MECHANICAL SYSTEM PIPING	R-3	MIN R-3
HOT WATER PIPING	R-3	MIN R-3

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REVISION TABLE		DESCRIPTION	ADJ INSUL AMTS
NUMBER	DATE		
1	5/10/2021	IBM	

GENERAL
TITLE PAGE

TITLE:

PROJECT DESCRIPTION:

BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:

MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

5/12/2021

SCALE:

N/A

SHEET:

1.G101

GENERAL REQUIREMENTS

- OWNER RESPONSIBILITIES: REFERENCE IS MADE THROUGHOUT THESE GENERAL NOTES TO RESPONSIBILITIES AND STANDARDS OF CARE TO BE FULFILLED BY THOSE PROVIDING SERVICES IN THE DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT. OWNER SHALL BE RESPONSIBLE FOR ADHERENCE TO THOSE REQUIREMENTS BY THE OWNER, BUILDER, DEVELOPER, GENERAL CONTRACTOR, SUBCONTRACTORS AND OTHER PROFESSIONAL CONSULTANTS NOT RETAINED BY THE DESIGNER.
- BUILDER'S SET: THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A "BUILDER'S SET" OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREINAFTER REFERRED TO AS "PLANS". AFTER FORMAL REVIEW AND APPROVAL, THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THE IMPLEMENTATION OF THESE PLANS REQUIRES AN OWNER/CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.
- BUILDING MAINTENANCE: THE EXPOSED MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT WILL DETERIORATE AS THE COMPLETED PROJECT AGES UNLESS PROPERLY AND ROUTINELY MAINTAINED. OWNER/CONTRACTOR SHALL PROVIDE OR CAUSE THE DEVELOPMENT OF A PLAN TO KEEP THESE EXPOSED MATERIALS PROTECTED AND MAINTAINED.
- INSURANCE: OWNER SHALL CAUSE THE GENERAL CONTRACTOR AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND / OR MATERIALS FOR THE WORK TO PURCHASE AND MAINTAIN GENERAL LIABILITY INSURANCE.
- NAMED PRODUCTS: THE DESIGNER MAKES NO GUARANTEE FOR PRODUCTS IDENTIFIED BY TRADE NAME OR MANUFACTURER.
- SUBSTITUTION: SUBSTITUTIONS OF SPECIFIC MATERIALS OR PRODUCTS LISTED ON THE SPEGIFICATION SHEETS SHALL NOT BE MADE WITHOUT WRITTEN AUTHORIZATION BY OWNER. THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR SHALL NOT MAKE THE STRUCTURAL SUBSTITUTIONS OR CHANGES WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER.
- CHANGES: ANY ADDITION, DELETION, OR CHANGE IN THE SCOPE OF THE WORK DESCRIBED BY THE PLANS SHALL BE BY WRITTEN CHANGE ORDER ONLY. ANY APPROVAL FROM THE BUILDING OFFICIAL FOR A CHANGE IN THE WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- DESIGNER: THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- DETAILS: DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL LIKE CONDITIONS TREATED SIMILARLY, UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DETAILS SHOWN ARE INTENDED TO FURTHER ILLUSTRATE THE VISUAL DESIGN CONCEPT AND THE MINIMUM RECOMMENDED WEATHER PROTECTION FOR THIS PROJECT. BUILDING CODE REQUIREMENTS, STRUCTURAL CONSIDERATIONS, TRADE ASSOCIATION MANUALS AND PUBLICATIONS AND PRODUCT MANUFACTURER'S WRITTEN INSTRUCTIONS SHALL ALSO BE CONSIDERED IN ORDER TO COMPLETE THE CONSTRUCTION OF THE DETAILS, AND IN SOME CASES MAY SUPERCEDE THE DETAILS.
- RENDERINGS: RENDERINGS ARE NOT TO SCALE; ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.
- SCHEDULES: ALL SCHEDULES ARE PER BUILDING AND MUST BE DOUBLED TO INCLUDE BOTH BUILDINGS 1 & 2.

CONTRACTOR AND SUBCONTRACTOR RESPONSIBILITIES

- CURRENT DRAWINGS: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK BETWEEN THE DIFFERENT SUBCONTRACTORS AND REQUIRING ALL SUBCONTRACTORS TO USE THE MOST CURRENT BUILDING DEPARTMENT APPROVED SET OF PLANS.
- REVIEW OF DRAWINGS: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE FULL CONTENT OF THE PLANS FOR DISCREPANCIES AND OMISSIONS PRIOR TO COMMENCEMENT OF WORK. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY. DO NOT PROCDED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK NOT IN CONFORMANCE WITH THE PLANS OR IN CONFLICT WITH ANY CODE.
- DIMENSIONS: WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB, AND MUST NOTIFY THE DESIGNER AND/OR ENGINEER OF ANY VARIATIONS FROM THESE DRAWINGS.
- SCOPE: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FURNISH ALL LABOR, EQUIPMENT AND MATERIALS INDICATED ON THE PLANS AND REASONABLY INFERRED OR REQUIRED BY THE APPLICABLE CODES.
- PERMITS: THE GENERAL BUILDING PERMIT AND PLAN CHECK SHALL BE SECURED AND PAID FOR BY OWNER. ALL OTHERS PERMITS SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE.
- CUTTING AND PATCHING: ALL SUBCONTRACTORS SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE THE WORK OF OTHER TRADES.
- INSURANCE: THE GENERAL CONTRACTOR AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND/ OR MATERIALS FOR THE WORK ARE REQUIRED TO PURCHASE AND MAINTAIN IN FORCE "ALL RISK" BUILDERS INSURANCE PRIOR TO COMMENCEMENT OF THE WORK AND/ OR FURNISHING LABOR, SERVICES AND MATERIALS. EACH "ALL RISK" POLICY SHALL BE IN AN AMOUNT SUFFICIENT TO COVER THE REPLACEMENT VALUE OF THE WORK BEING PERFORMED AND/ OR THE LABOR, SERVICES AND MATERIALS BEING SUPPLIED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, DESIGNER, AND ALL PROFESSIONAL CONSULTANTS.
- CODES: ALL CONSTRUCTION SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF ALL CURRENT APPLICABLE CITY, COUNTY, STATE AND FEDERAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS. IF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE MENTIONED LAWS, RULES, CODES, ORDINANCES AND REGULATIONS, THEN THE CONTRACTOR IN VIOLATION SHALL BEAR ALL COSTS OF REPAIR ARISING OUT OF THE NON-CONFORMING WORK.
- SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY CONDITIONS AND DIMENSIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. THE DESIGNER AND/ OR ENGINEER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.
- STORAGE OF MATERIALS: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR STORING THE MATERIALS ON THE SITE ACCORDING TO MATERIAL SUPPLIERS' OR MANUFACTURERS' INSTRUCTIONS. THE MATERIALS SHALL BE KEPT SECURE AND PROTECTED FROM MOISTURE, PESTS, AND VANDALS. ANY LOSS ARISING OUT OF MATERIALS STORED AT THE SITE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR WHO STORED THE DAMAGED OR LOST MATERIALS.
- CLEAN UP: ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK AND SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS, ETC. AS REQUIRED. SUBCONTRACTORS SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND LEAVE THE JOB IN A BROOM-CLEAN CONDITION. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC., SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY, INCLUDING REMOVING ALL STICKERS AND GLUE RESIDUE, UPON COMPLETION OF THE PROJECT.

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- THE FOLLOWING MODIFICATIONS ARE ALLOWED, PROVIDED THEY DO NOT ALTER THE ESSENTIAL CHARACTERISTICS OF THE DESIGN: STRUCTURAL MODIFICATIONS, BRAND SPECIFIC WINDOW SIZING, CHANGES IN MATERIALS, CHANGES TO DOOR TYPES AND SIZES, KITCHEN AND BATH DESIGN WITHIN THE ASSIGNED ROOMS, ELECTRICAL LAYOUT, MINOR INTERIOR CHANGES THAT DO NOT CHANGE THE PLACEMENT OF ROOMS, CHANGES TO EXTERIOR DECKS, AND FOUNDATION CHANGES TO ADAPT TO DIFFERENT TOPOGRAPHY.

2015 IECC RESIDENTIAL [RE] REQUIREMENTS

DOORS & WINDOWS*

- R303.1.3 - U-FACTORS OF FENESTRATION PRODUCTS ARE DETERMINED IN ACCORDANCE WITH THE NFRC TEST PROCEDURE OR TAKEN FROM THE DEFAULT TABLE.
- R402.2.4 (IRC N1102.2.4) - ATTIC ACCESS HATCH AND DOOR INSULATION ≥R-VALUE OF THE ADJACENT ASSEMBLY.
- R402.4.3 (IRC N1102.4.3) - FENESTRATION THAT IS NOT SITE BUILT IS LISTED AND LABELED AS MEETING AAMA /MDMA/CSA 101/I.5.2/A440 OR HAS INFILTRATION RATES PER NFRC 400 THAT DO NOT EXCEED CODE LIMITS.

PLUMBING*

- R403.5.1 (IRC N1103.5.1) - CIRCULATING SERVICE HOT WATER SYSTEMS HAVE AUTOMATIC OR ACCESSIBLE MANUAL CONTROLS.
- R403.5.1.1 (IRC N1103.5.1.1) - HEATED WATER CIRCULATION SYSTEMS HAVE A CIRCULATION PUMP. THE SYSTEM RETURN PIPE IS A DEDICATED RETURN PIPE OR A COLD WATER SUPPLY PIPE. GRAVITY AND THERMOSSYPHON CIRCULATION SYSTEMS ARE NOT PRESENT. CONTROLS FOR CIRCULATING HOT WATER SYSTEM PUMPS START THE PUMP WITH SIGNAL FOR HOT WATER DEMAND WITHIN THE OCCUPANCY. CONTROLS AUTOMATICALLY TURN OFF THE PUMP WHEN WATER IS IN CIRCULATION LOOP IS AT SET-POINT TEMPERATURE AND NO DEMAND FOR HOT WATER EXISTS.
- R403.5.1.2 (IRC N1103.5.1.2) - ELECTRIC HEAT TRACE SYSTEMS COMPLY WITH IEEE 515.1 OR UL 515. CONTROLS AUTOMATICALLY ADJUST THE ENERGY INPUT TO THE HEAT TRACING TO MAINTAIN THE DESIRED WATER TEMPERATURE IN THE PIPING.
- R403.5.2 (IRC N1103.5.2) - WATER DISTRIBUTION SYSTEMS THAT HAVE RECIRCULATION PUMPS THAT PUMP WATER FROM A HEATED WATER SUPPLY PIPE BACK TO THE HEATED WATER SOURCE THROUGH A COLD WATER SUPPLY PIPE HAVE A DEMAND RECIRCULATION WATER SYSTEM. PUMPS HAVE CONTROLS THAT MANAGE OPERATION OF THE PUMP AND LIMIT THE TEMPERATURE OF THE WATER ENTERING THE COLD WATER PIPING TO 104°F.
- R403.5.3 (IRC N1103.5.3) - HOT WATER PIPES ARE INSULATED TO ≥ R-3.
- R403.5.4 (IRC N1103.5.4) - DRAIN WATER HEAT RECOVERY UNITS TESTED IN ACCORDANCE WITH CSA B55.1. POTABLE WATER-SIDE PRESSURE LOSS OF DRAIN WATER HEAT RECOVERY UNITS < 3 PSI FOR INDIVIDUAL UNITS CONNECTED TO ONE OR TWO SHOWERS. POTABLE WATERSIDE PRESSURE LOSS OF DRAIN WATER HEAT RECOVERY UNITS < 2 PSI FOR INDIVIDUAL UNITS CONNECTED TO THREE OR MORE SHOWERS.

HVAC*

- R302.1, R403.7 (IRC N1103.7) - HEATING AND COOLING EQUIPMENT IS SIZED PER ACCA MANUAL S BASED ON LOADS CALCULATED PER ACCA MANUAL J OR OTHER METHODS APPROVED BY THE CODE OFFICIAL.
- R303.3 - MANUFACTURER MANUALS FOR MECHANICAL AND WATER HEATING SYSTEMS HAVE BEEN PROVIDED.
- R402.4.1.2 (IRC N1102.4.1.2) - BLOWER DOOR TEST @ 50 PA ≤=3 ACH IN CLIMATE ZONE 5 REQUIRED.
- R403.1.1 (IRC N1103.1.1) - PROGRAMMABLE THERMOSTATS INSTALLED FOR CONTROL OF PRIMARY HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS.
- R403.1.2 (IRC N1103.1.2) - HEAT PUMP THERMOSTAT INSTALLED ON HEAT PUMPS.
- R403.2 (IRC N1103.2) - HOT WATER BOILERS SUPPLYING HEAT THROUGH ONE- OR TWO-PIPE HEATING SYSTEMS HAVE OUTDOOR SETBACK CONTROL TO LOWER BOILER WATER TEMPERATURE BASED ON OUTDOOR TEMPERATURE.
- R403.3.1 (IRC N1103.3.1) - SUPPLY AND RETURN DUCTS IN ATTICS INSULATED ≥= R-8 WHERE DUCT IS ≥= 3 INCHES IN DIAMETER AND ≥= R-6 WHERE < 3 INCHES. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING INSULATED ≥= R-6 FOR DIAMETER ≥= 3 INCHES AND R-4.2 FOR < 3 INCHES IN DIAMETER.
- R403.3.2.1 (IRC N1103.3.2.1) - AIR HANDLER LEAKAGE DESIGNATED BY MANUFACTURER AT ≤=2% OF DESIGN AIR FLOW.
- R403.3.3 (IRC N1103.3.3) - DUCTS ARE PRESSURE TESTED TO DETERMINE AIR LEAKAGE WITH EITHER: ROUGH-IN TEST: TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT TIME OF TEST. POST CONSTRUCTION TEST: TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE ENTIRE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE.
- R403.3.4 (IRC N1103.3.4) - DUCT TIGHTNESS TEST RESULT OF ≤=4 CFM/100 FT2 ACROSS THE SYSTEM OR ≤=3 CFM/100 FT2 WITHOUT AIR HANDLER @ 25 PA. FOR ROUGH-IN TESTS, VERIFICATION MAY NEED TO OCCUR DURING FRAMING INSPECTION.
- R403.3.5 (IRC N1103.3.5) - BUILDING CAVITIES ARE NOT USED AS DUCTS OR PLENUMS.
- R403.4 (IRC N1103.4) - HVAC PIPING CONVEYING FLUIDS ABOVE 105 °F OR CHILLED FLUIDS BELOW 55 °F ARE INSULATED TO ≥R-3.
- R403.4.1 (IRC N1103.4.1) - PROTECTION OF INSULATION ON HVAC PIPING.
- R403.6 (IRC N1103.6) - AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS.
- R403.6.1 (IRC N1103.6.1) - ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT MEET EFFICACY AND AIR FLOW LIMITS.
- R404.1.1 (IRC N1104.1.1) - FUEL GAS LIGHTING SYSTEMS HAVE NO CONTINUOUS PILOT LIGHT.

INSULATION*

- R303.1 - ALL INSTALLED INSULATION IS LABELED OR THE INSTALLED R-VALUES PROVIDED.
- R303.1.1.1, R303.2 - CEILING INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS. BLOWN INSULATION MARKED EVERY 300 FT².
- R303.2 - WALL INSULATION IS INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- R303.2, R402.2.7 (IRC N1102.2.7) - FLOOR INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN SUBSTANTIAL CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR, OR FLOOR FRAMING CAVITY INSULATION IS IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION IS INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
- R303.2.1 - A PROTECTIVE COVERING IS INSTALLED TO PROTECT EXPOSED EXTERIOR INSULATION AND EXTENDS A MINIMUM OF 6 IN. BELOW GRADE.
- R402.2.3 (IRC N1102.2.3) - VENTED ATTICS WITH AIR PERMEABLE INSULATION INCLUDE BAFFLE ADJACENT TO SOFFIT AND EAVE VENTS THAT EXTENDS OVER INSULATION.

ROOFING*

- R403.9 (IRC N1103.9) - SNOW- AND ICE-MELTING SYSTEM CONTROLS INSTALLED.

SIDING*

- R402.4.1.1 (IRC N1102.4.1.1) - AIR BARRIER AND THERMAL BARRIER INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

ELECTRICAL*

- R402.4.5 (IRC N1102.4.5) - IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE ≤2.0 CFM LEAKAGE AT 75 PA.
- R404.1 (IRC N1104.1) - 75% OF LAMPS IN PERMANENT FIXTURES OR 75% OF PERMANENT FIXTURES HAVE HIGH EFFICACY LAMPS. DOES NOT APPLY TO LOW-VOLTAGE LIGHTING.

* MINIMUM CODE REQUIREMENTS ONLY. SEE DETAILED NOTES ON SUBSEQUENT SHEETS WHERE SUBJECTS ARE MORE FULLY DEFINED.

NUMBER	DATE	REVISION TABLE	
		REVISED BY	DESCRIPTION

GENERAL NOTES

TITLE:

PROJECT DESCRIPTION:

BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:

MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

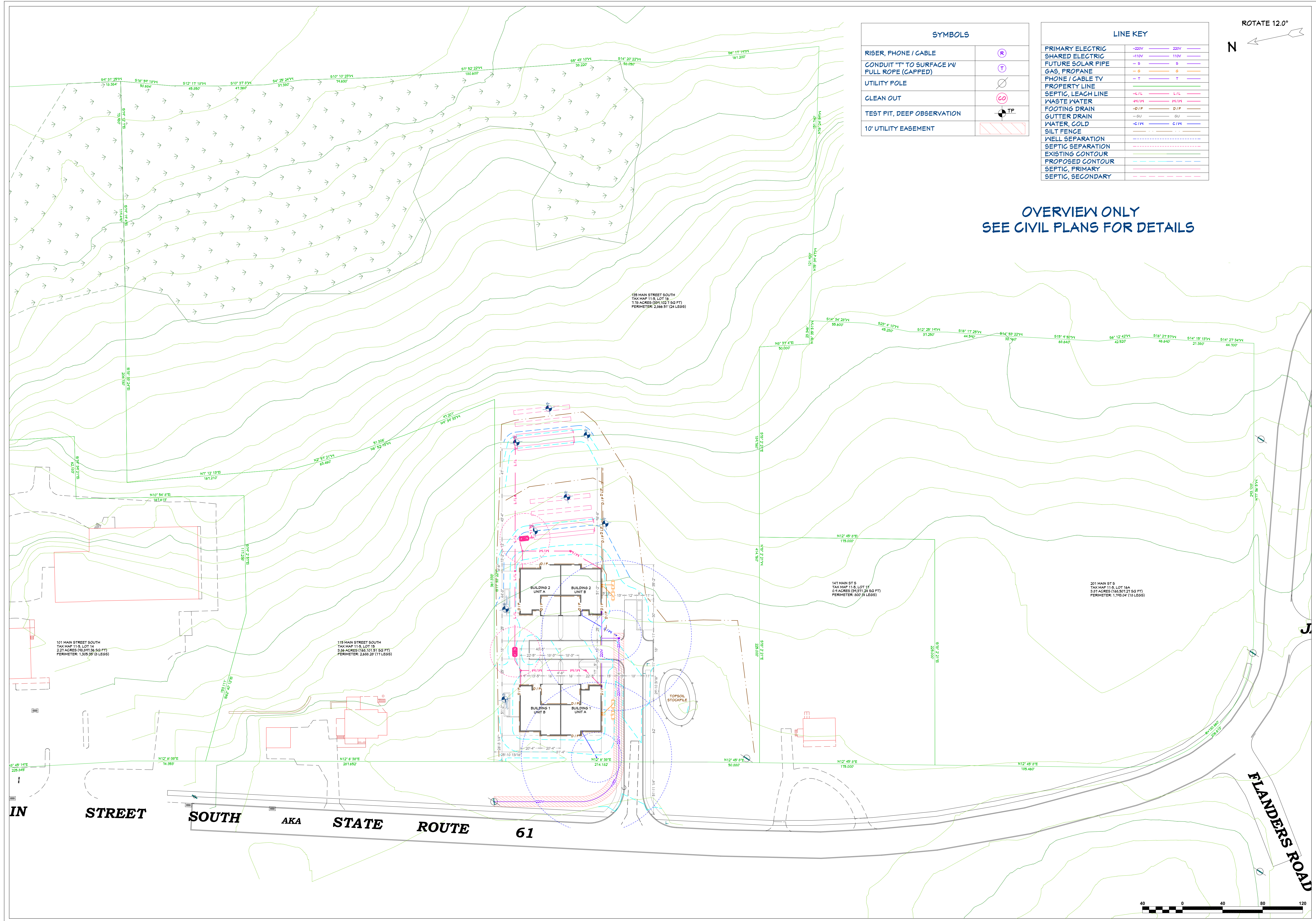
5/12/2021

SCALE:

N/A

SHEET:

1.6102

[illegible]

GENERAL SITE PLAN

TITLE:

PROJECT DESCRIPTION:

BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751



DRAWINGS PROVIDED BY:

MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

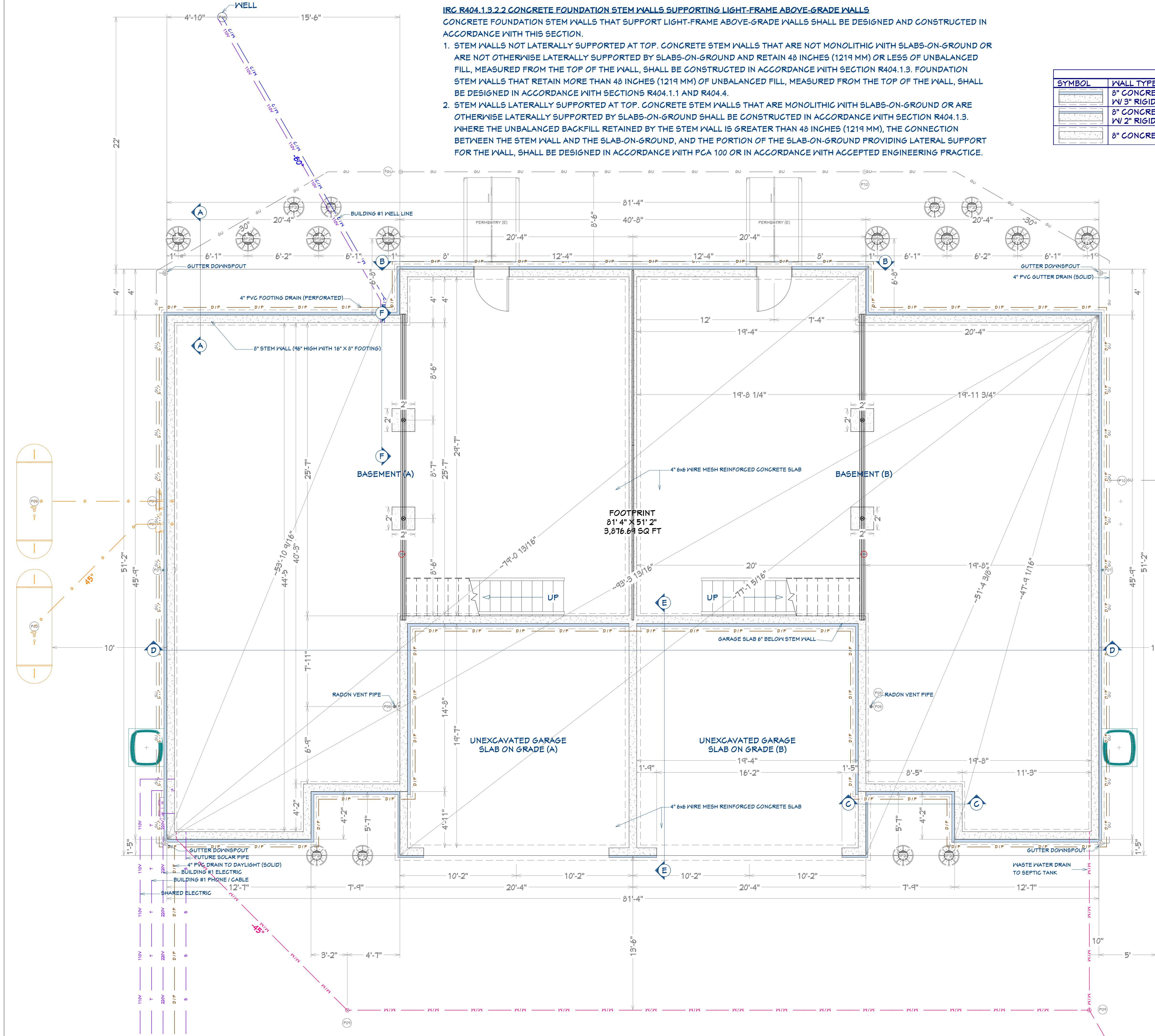
5/12/2021

SCALE:

$$1'' = 40'$$

SHEET:

1.G103



IRC R404.1.3.2.2 CONCRETE FOUNDATION STEM WALLS SUPPORTING LIGHT-FRAME ABOVE-GRADE WALLS
CONCRETE FOUNDATION STEM WALLS THAT SUPPORT LIGHT-FRAME ABOVE-GRADE WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THIS SECTION.

1. STEM WALLS NOT Laterally supported at top. concrete stem walls that are not monolithic with slabs-on-ground or are not otherwise laterally supported by slabs-on-ground and retain 48 inches (1219 mm) or less of unbalanced fill, measured from the top of the wall, shall be constructed in accordance with section R404.1.3. foundation stem walls that retain more than 48 inches (1219 mm) of unbalanced fill, measured from the top of the wall, shall be designed in accordance with sections R404.1.1 and R404.4.

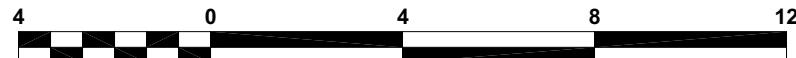
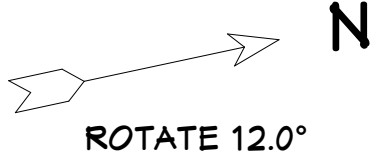
2. STEM WALLS Laterally supported at top. concrete stem walls that are monolithic with slabs-on-ground or are otherwise laterally supported by slabs-on-ground shall be constructed in accordance with section R404.1.3. where the unbalanced backfill retained by the stem wall is greater than 48 inches (1219 mm), the connection between the stem wall and the slab-on-ground, and the portion of the slab-on-ground providing lateral support for the wall, shall be designed in accordance with PCA 100 or in accordance with accepted engineering practice.

WALL KEY - FOUNDATION (S)					
SYMBOL	WALL TYPE	WIDTH	FOOTING	CAVITY R-VALUE	CONTINUOUS R-VALUE
	8" CONCRETE STEM WALL W/ 3" RIGID EXT INSULATION	11"	16"	0	15
	8" CONCRETE STEM WALL W/ 2" RIGID EXT INSULATION	10"	16"	0	10
	8" CONCRETE STEM WALL	8"	16"	0	0

HARDWARE SCHEDULE			
SYMBOL	MANUFACTURER	DESCRIPTION	QTY
	BIGFOOT SYSTEMS	BF24 FOOTING FORM	8
	BIGFOOT SYSTEMS	BF20 FOOTING FORM	8
	BILCO	PERMENTRY BASEMENT ENTRANCE (SIZE E)	2

KEY	
PRIMARY ELECTRIC	-220V 220V
SHARED ELECTRIC	-110V 110V
FUTURE SOLAR PIPE	-S S
GAS, PROPANE	-G G
PHONE / CABLE TV	-T T
PROPERTY LINE	-P P
SEPTIC, LEACH LINE	-L/L L/L
WASTE WATER	-W/W W/W
FOOTING DRAIN	-D/P D/P
GUTTER DRAIN	-GU GU
WATER, COLD	-C/W C/W
WATER, HOT	-H/W H/W
WELL SEPARATION	-W/S W/S
SEPTIC SEPARATION	-S/S S/S
EXISTING CONTOUR	-E E
PROPOSED CONTOUR	-P P
SEPTIC, PRIMARY	-P P
SEPTIC, SECONDARY	-S S

IRC R404.1.3.2 REINFORCEMENT FOR FOUNDATION WALLS
CONCRETE FOUNDATION WALLS SHALL BE Laterally supported at the top and bottom. horizontal reinforcement shall be provided in accordance with table R404.1.2(1). vertical reinforcement shall be provided in accordance with table R404.1.2(2), R404.1.2(3), R404.1.2(4), R404.1.2(5), R404.1.2(6), R404.1.2(7) or R404.1.2(8). vertical reinforcement for flat basement walls retaining 4 feet (1219 mm) or more of unbalanced backfill is permitted to be determined in accordance with table R404.1.2(9). for basement walls supporting above-grade concrete walls, vertical reinforcement shall be the greater of that required by tables R404.1.2(2) through R404.1.2(8) or by section R608.6 for the above-grade wall. in buildings assigned to seismic design category D0, D1 or D2, concrete foundation walls shall also comply with section R404.1.4.2.



REVISION TABLE	
NUMBER	DATE
1	5/10/2021
REVISION BY	
DESCRIPTION	
ADD EXT FOUND INSUL	

TITLE: **ARCHITECTURAL PLANS - FOUNDATION, BUILDING 1**

PROJECT DESCRIPTION: **BLUEBIRD MEADOWS - PHASE I**
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY: **MILLSPAUGH PROPERTIES**
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE: **5/12/2021**




SCALE: **1/4" = 1'**

SHEET: **1.A101**

EXCEPTION: A DRAINAGE SYSTEM IS NOT REQUIRED WHERE THE FOUNDATION IS INSTALLED ON WELL-DRAINED GROUND OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP I SOILS, AS DETAILED IN TABLE R405.1.

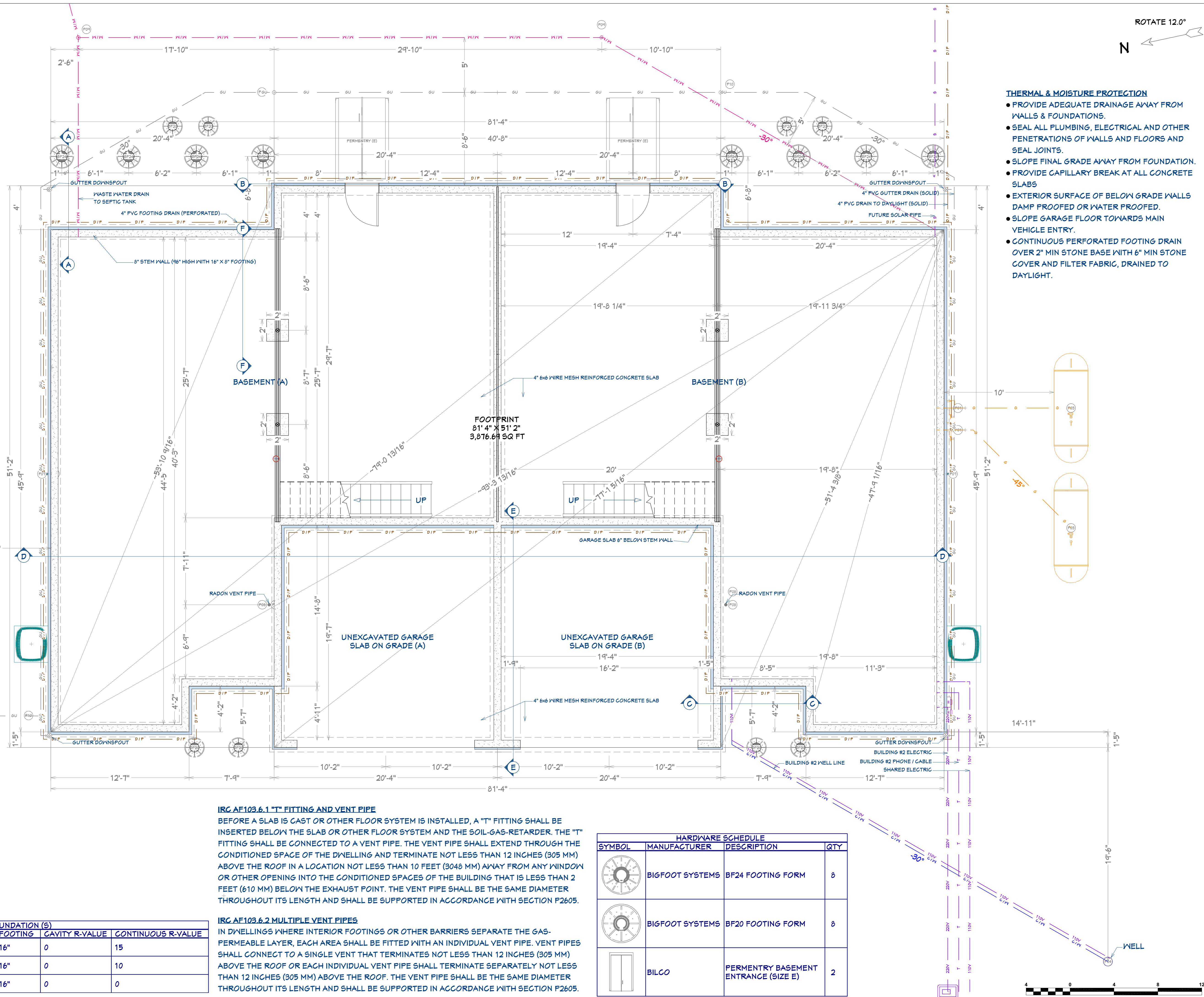


	KEY
PRIMARY ELECTRIC	-220V _____ 220V _____
SHARED ELECTRIC	-110V _____ 110V _____
FUTURE SOLAR PIPE	- S _____ S _____
GAS, PROPANE	- G _____ G _____
PHONE / CABLE TV	- T _____ T _____
PROPERTY LINE	
SEPTIC, LEACH LINE	-L/L _____ L/L _____
WASTE WATER	-W/PX _____ W/PX _____
FOOTING DRAIN	-D/P _____ D/P _____
GUTTER DRAIN	-SU _____ SU _____
WATER, COLD	-C/PX _____ C/PX _____
WATER, HOT	-H/PX _____ H/PX _____
WELL SEPARATION	-----
SEPTIC SEPARATION	-----
EXISTING CONTOUR	-----
PROPOSED CONTOUR	-----
SEPTIC, PRIMARY	-----
SEPTIC, SECONDARY	-----

WALL KEY - FOUNDATION (5)					
SYMBOL	WALL TYPE	WIDTH	FOOTING	CAVITY R-VALUE	CONTINUOUS R-VALUE
	8" CONCRETE STEM WALL W/ 3" RIGID EXT INSULATION	11"	16"	0	15
	8" CONCRETE STEM WALL W/ 2" RIGID EXT INSULATION	10"	16"	0	10
	8" CONCRETE STEM WALL	8"	16"	0	0

BEFORE A SLAB IS CAST OR OTHER FLOOR SYSTEM IS INSTALLED, A "T" FITTING SHALL BE INSERTED BELOW THE SLAB OR OTHER FLOOR SYSTEM AND THE SOIL-GAS-RETARDER. THE "T" FITTING SHALL BE CONNECTED TO A VENT PIPE. THE VENT PIPE SHALL EXTEND THROUGH THE CONDITIONED SPACE OF THE DWELLING AND TERMINATE NOT LESS THAN 12 INCHES (305 MM) ABOVE THE ROOF IN A LOCATION NOT LESS THAN 10 FEET (3048 MM) AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET (610 MM) BELOW THE EXHAUST POINT. THE VENT PIPE SHALL BE THE SAME DIAMETER THROUGHOUT ITS LENGTH AND SHALL BE SUPPORTED IN ACCORDANCE WITH SECTION P2605.

IN DWELLINGS WHERE INTERIOR FOOTINGS OR OTHER BARRIERS SEPARATE THE GAS-PERMEABLE LAYER, EACH AREA SHALL BE FITTED WITH AN INDIVIDUAL VENT PIPE. VENT PIPES SHALL CONNECT TO A SINGLE VENT THAT TERMINATES NOT LESS THAN 12 INCHES (305 MM) ABOVE THE ROOF OR EACH INDIVIDUAL VENT PIPE SHALL TERMINATE SEPARATELY NOT LESS THAN 12 INCHES (305 MM) ABOVE THE ROOF. THE VENT PIPE SHALL BE THE SAME DIAMETER THROUGHOUT ITS LENGTH AND SHALL BE SUPPORTED IN ACCORDANCE WITH SECTION P2605.



- ### **THERMAL & MOISTURE PROTECTION**
- **PROVIDE ADEQUATE DRAINAGE AWAY FROM WALLS & FOUNDATIONS.**
 - **SEAL ALL PLUMBING, ELECTRICAL AND OTHER PENETRATIONS OF WALLS AND FLOORS AND SEAL JOINTS.**
 - **SLOPE FINAL GRADE AWAY FROM FOUNDATION.**
 - **PROVIDE CAPILLARY BREAK AT ALL CONCRETE SLABS**
 - **EXTERIOR SURFACE OF BELOW GRADE WALLS DAMP PROOFED OR WATER PROOFED.**
 - **SLOPE GARAGE FLOOR TOWARDS MAIN VEHICLE ENTRY.**
 - **CONTINUOUS PERFORATED FOOTING DRAIN OVER 2" MIN STONE BASE WITH 6" MIN STONE COVER AND FILTER FABRIC, DRAINED TO DAYLIGHT.**

[illegible]

TITLE: **ARCHITECTURAL
PLANS - FOUNDATION,
BUILDING 2**

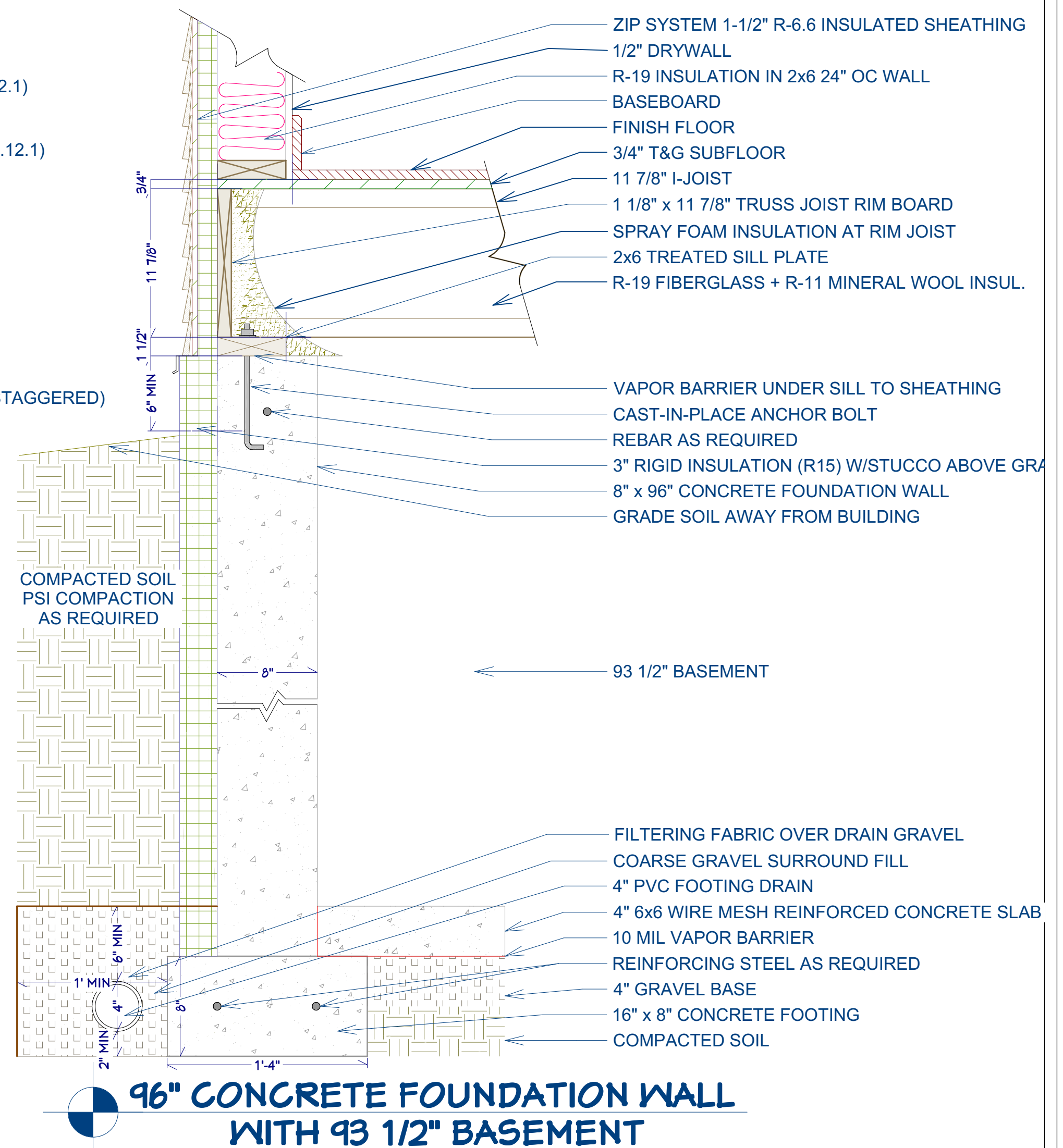
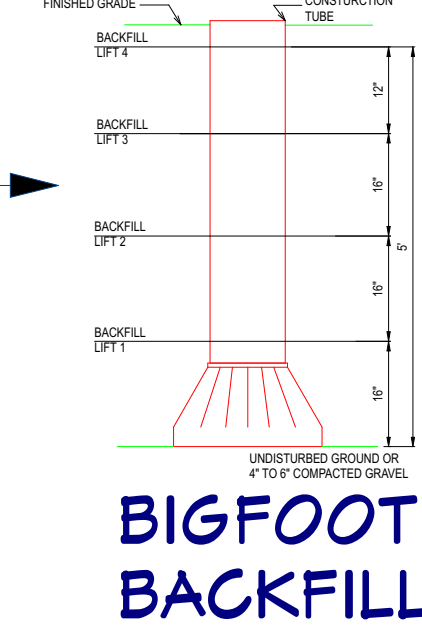
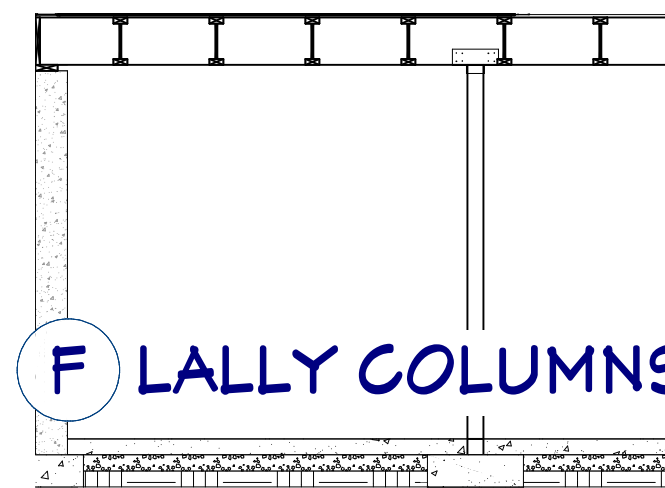
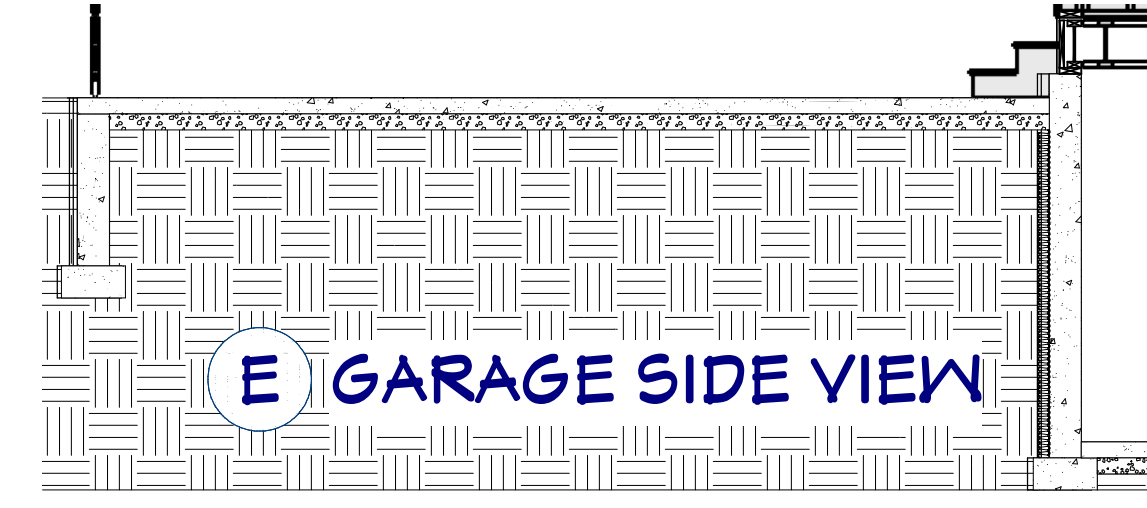
PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:
5/12/2021

SCALE:
 $1/4" = 1'$

SHEET:
1.A102



F LALLY COLUMNS

ASPHALT SHINGLES
ZIP SYSTEM 1/2" SHEATHING
TRUSS TOP CHORD
R-49 INSULATION
1/2" DRYWALL DRAFTSTOPPING (R302.3 & R302.12.1)
TRUSS KING POST
MINERAL WOOL DRAFTSTOPPING (R302.3 & R302.12.1)
*ALSO PROVIDES FIREBLOCKING (R302.11)

TRUSS BOTTOM CHORD
5/8" TYPE X FIRE RATED DRYWALL
DOUBLE 2x4 TOP PLATE
5/8" TYPE X FIRE RATED DRYWALL
TAPE FOAM SEAMS TO FORM VAPOR BARRIER
1/4" XPS RIGID FOAM INSULATION (R-1)
R-15 MINERAL WOOL INSULATION IN 2X4 16" OC (STAGGERED)
BASEBOARD
2x4 BOTTOM PLATE
FINISH FLOOR
3/4" T&G SUBFLOOR
1 3/4" x 11 7/8" TRUS JOIST 2.0E MICROLLAM LVL
SPRAY FOAM INSULATION
11 7/8" TJI 560 TRUS JOIST 24" OC
R-19 FIBERGLASS + R-11 MINERAL WOOL INSULATION

UNIT B 1ST FLOOR
UNIT A 1ST FLOOR

2x8 TREATED SILL PLATE
SILL SEAL
CAST-IN-PLACE ANCHOR BOLT
8" x 96" CONCRETE FOUNDATION WALL
REBAR AS REQUIRED
93 1/2" BASEMENT

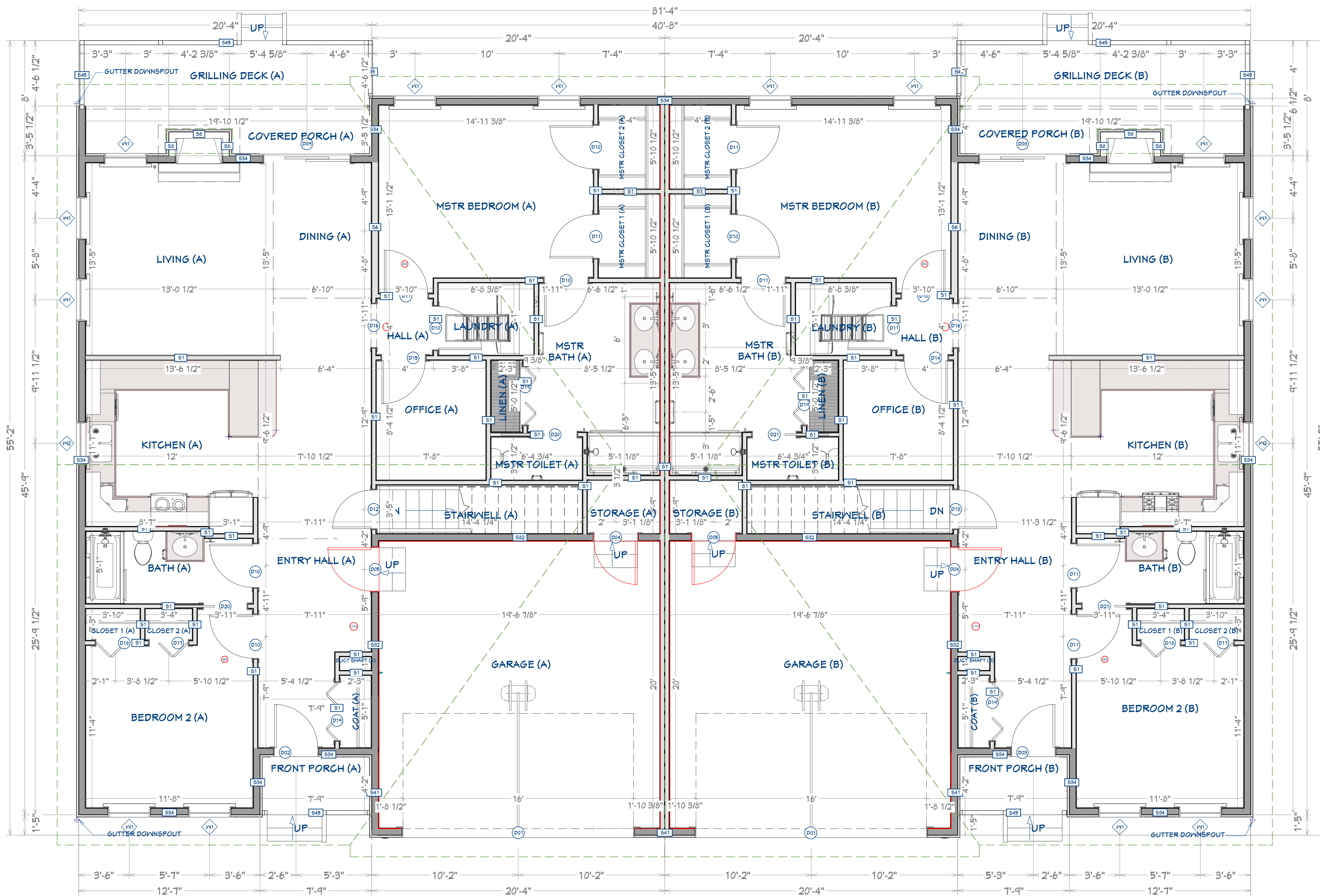
UNIT B BASEMENT
UNIT A BASEMENT

4" 6x6 WIRE MESH REINFORCED CONCRETE SLAB
10 MIL VAPOR BARRIER
REINFORCING STEEL AS REQUIRED
4" GRAVEL BASE
16" x 8" CONCRETE FOOTING
COMPACTED SOIL

— SCALE: 1/8" = 1'



DATE:	5/12/2021
SCALE:	1/4" = 1'
SHEET:	1.A103



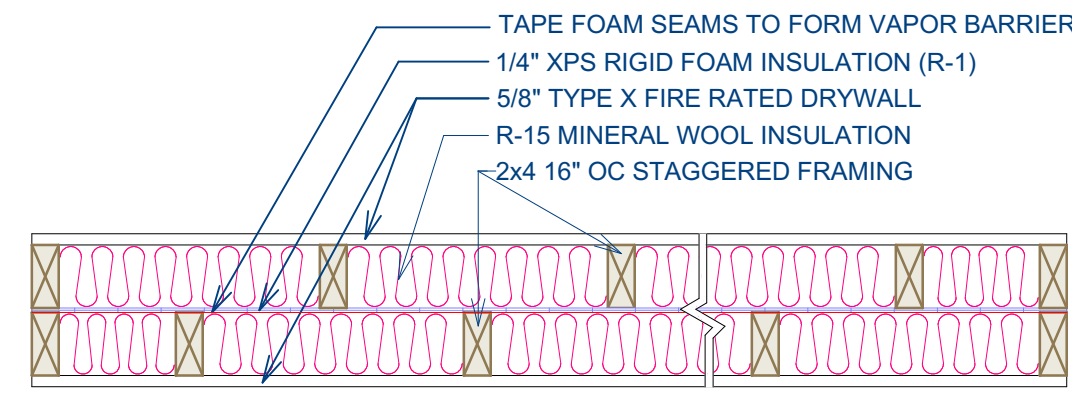
ROTATE 12.0°
N
ROTATE 12.0°
N
BUILDING 1 BUILDING 2

WALL KEY - 1ST FLOOR (S)							
SYMBOL	NUMBER	QTY	WALL TYPE	WIDTH	CAVITY R-VALUE	CONTINUOUS R-VALUE	
S1	82	2	2X4 16 OC, 1/2" DRYWALL / 1/2" DRYWALL	4 1/2"	0	0	
S6	2	2	2X6 16 OC, 1/2" DRYWALL / 1/2" DRYWALL	6 1/2"	0	0	
S7	1	2X4 / 1/4" RIGID / 2X4 16 OC, 5/8" TYPE X / 5/8" TYPE X	8 1/2"	30	1		
S8	6	2X6 24 OC, UNFINISHED / SIDING	7 1/2"	14	6.6		
S32	4	2X6 24 OC, 1/2" DRYWALL / 5/8" TYPE X	6 5/8"	21	0		
S34	13	2X6 24 OC, 1/2" DRYWALL / SIDING	8"	14	6.6		
S41	3	2X6 24 OC, 5/8" TYPE X / SIDING	8 1/8"	14	6.6		
S45	8	DECK RAILING/FENCE	3 1/2"	0	0		

- DOOR AND WINDOW NOTES**
- EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.
 - ALL WALK-THRU DOORS SHALL BE SOLID CORE.
 - INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING.
 - DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A MIN RATING OF 60+ MINUTES. DOOR SHALL BE SELF CLOSING.
 - EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS.
 - GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS.
 - ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 95 SQUARE FEET ARE TO HAVE SAFETY GLAZING.
 - ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.
 - ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED.
 - ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING.
 - PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE.
 - PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

DOOR STYLES				
3D PERSPECTIVE	DESCRIPTION	QTY		
	CLOPAY 16' X 8' COACHMAN CF21 GARAGE DOOR WITH SQ24 GLASS TOP	2		
	MASONITE 3' 0" FIBERGLASS 1/4 LITE INSWING ENTRY DOOR	2		
	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL STEEL EXTERIOR FIRE DOOR	6		
	JELD-WEN 6' 15-LITE GLASS WHITE VINYL SLIDING DOOR WITH SCREEN	2		
	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL MDF SOLID CORE INTERIOR DOOR (SMOOTH, PRIMED)	14		
	JELD-WEN 2' 8" CAMBRIDGE 2-PANEL MDF SOLID CORE INTERIOR DOOR (SMOOTH, PRIMED)	2		
	MMI DOOR 3' 0" 15-LITE CLEAR GLASS UNFINISHED PINE INTERIOR FRENCH DOOR	2		
	3' 0" DOORWAY	2		
	JELD-WEN 2' 8" CAMBRIDGE 2-PANEL MDF HOLLOW CORE BIFOLD DOOR (SMOOTH, PRIMED)	4		
	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL MDF HOLLOW CORE POCKET DOOR (SMOOTH, PRIMED)	4		

DOOR SCHEDULE (D)										
NUMBER	QTY	TYPE	SIZE	WIDTH	HEIGHT	JAMB SIZE	DESCRIPTION	R/O	HEADER	FIRE
D01	2	GARAGE	16080	142"	46"	3/4"x8 1/8"	CLOPAY 16' X 8' COACHMAN CF21 GARAGE DOOR WITH SQ24 GLASS TOP	144"x99"	1 3/4X11 7/8X200" (2)	
D02	1	HINGED	3068 L EX	36"	80"	3/4"x7 1/2"	MASONITE 3' 0" FIBERGLASS 1/4 LITE INSWING ENTRY DOOR	38"x83"	2X6X41" (2)	
D03	1	HINGED	3068 R EX	36"	80"	3/4"x7 1/2"	MASONITE 3' 0" FIBERGLASS 1/4 LITE INSWING ENTRY DOOR	38"x83"	2X6X41" (2)	
D04	2	HINGED	3068 L EX	36"	80"	3/4"x6 5/8"	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL STEEL EXTERIOR FIRE DOOR	38"x83"	2X6X41" (2)	YES
D05	2	HINGED	3068 R EX	36"	80"	3/4"x6 5/8"	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL STEEL EXTERIOR FIRE DOOR	38"x83"	2X6X41" (2)	YES
D06	1	HINGED	3068 L EX	36"	80"	3/4"x11"	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL STEEL EXTERIOR FIRE DOOR	38"x83"	2X6X41" (2)	YES
D07	1	HINGED	3068 R EX	36"	80"	3/4"x11"	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL STEEL EXTERIOR FIRE DOOR	38"x83"	2X6X41" (2)	YES
D08	1	SLIDER	6068 L EX	71 1/2"	74 1/2"	3/4"x7 1/2"	JELD-WEN 6' 15-LITE GLASS WHITE VINYL SLIDING DOOR WITH SCREEN	73 1/2"x82 1/2"	2X10X76 1/2" (2)	
D09	1	SLIDER	6068 R EX	71 1/2"	74 1/2"	3/4"x7 1/2"	JELD-WEN 6' 15-LITE GLASS WHITE VINYL SLIDING DOOR WITH SCREEN	73 1/2"x82 1/2"	2X10X76 1/2" (2)	
D10	7	HINGED	3068 L IN	36"	80"	3/4"x4 1/2"	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL MDF SOLID CORE INTERIOR DOOR (SMOOTH, PRIMED)	38"x82 1/2"	2X6X41" (2)	
D11	7	HINGED	3068 L IN	36"	80"	3/4"x4 1/2"	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL MDF SOLID CORE INTERIOR DOOR (SMOOTH, PRIMED)	38"x82 1/2"	2X6X41" (2)	
D12	1	HINGED	2868 L IN	32"	80"	3/4"x4 1/2"	JELD-WEN 2' 8" CAMBRIDGE 2-PANEL MDF SOLID CORE INTERIOR DOOR (SMOOTH, PRIMED)	34"x82 1/2"	2X6X37" (2)	
D13	1	HINGED	2868 R IN	32"	80"	3/4"x4 1/2"	JELD-WEN 2' 8" CAMBRIDGE 2-PANEL MDF SOLID CORE INTERIOR DOOR (SMOOTH, PRIMED)	34"x82 1/2"	2X6X37" (2)	
D14	1	HINGED	3068 L IN	36"	80"	3/4"x4 1/2"	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL MDF HOLLOW CORE BIFOLD DOOR (SMOOTH, PRIMED)	38"x82 1/4"	2X6X41" (2)	
D15	1	HINGED	3068 R IN	36"	80"	3/4"x4 1/2"	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL MDF HOLLOW CORE BIFOLD DOOR (SMOOTH, PRIMED)	38"x82 1/4"	2X6X41" (2)	
D16	2	DOORWAY	3068	36"	80"	3/4"x4 1/2"	3' 0" DOORWAY	38"x82 1/2"	2X6X41" (2)	
D17	2	DR. BIFOLD	2868 L	32"	80"	3/4"x4 1/2"	JELD-WEN 2' 8" CAMBRIDGE 2-PANEL MDF HOLLOW CORE BIFOLD DOOR (SMOOTH, PRIMED)	34"x82 1/2"	2X6X37" (2)	
D18	2	DR. BIFOLD	2868 R	32"	80"	3/4"x4 1/2"	JELD-WEN 2' 8" CAMBRIDGE 2-PANEL MDF HOLLOW CORE BIFOLD DOOR (SMOOTH, PRIMED)	34"x82 1/2"	2X6X37" (2)	
D19	4	DR. BIFOLD	4068 L/R	48"	80"	3/4"x4 1/2"	JELD-WEN 4' 0" CAMBRIDGE 2-PANEL MDF HOLLOW CORE BIFOLD DOOR (SMOOTH, PRIMED)	50"x82 1/2"	2X6X53" (2)	
D20	2	POCKET	3068 L	36"	80"	3/4"x4 1/2"	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL MDF SOLID CORE POCKET DOOR (SMOOTH, PRIMED)	74"x82 1/2"	2X6X77" (2)	
D21	2	POCKET	3068 R	36"	80"	3/4"x4 1/2"	JELD-WEN 3' 0" CAMBRIDGE 2-PANEL MDF SOLID CORE POCKET DOOR (SMOOTH, PRIMED)	74"x82 1/2"	2X6X77" (2)	



1-HOUR FIRE RATED TWO-FAMILY COMMON WALL (R302.3)
VIEWED FROM ABOVE (STC 57-63 / R-31)

REVISION TABLE

NUMBER	DATE	REVISION BY	DESCRIPTION

TITLE: ARCHITECTURAL PLANS - 1ST FLOOR, BUILDINGS 1 & 2

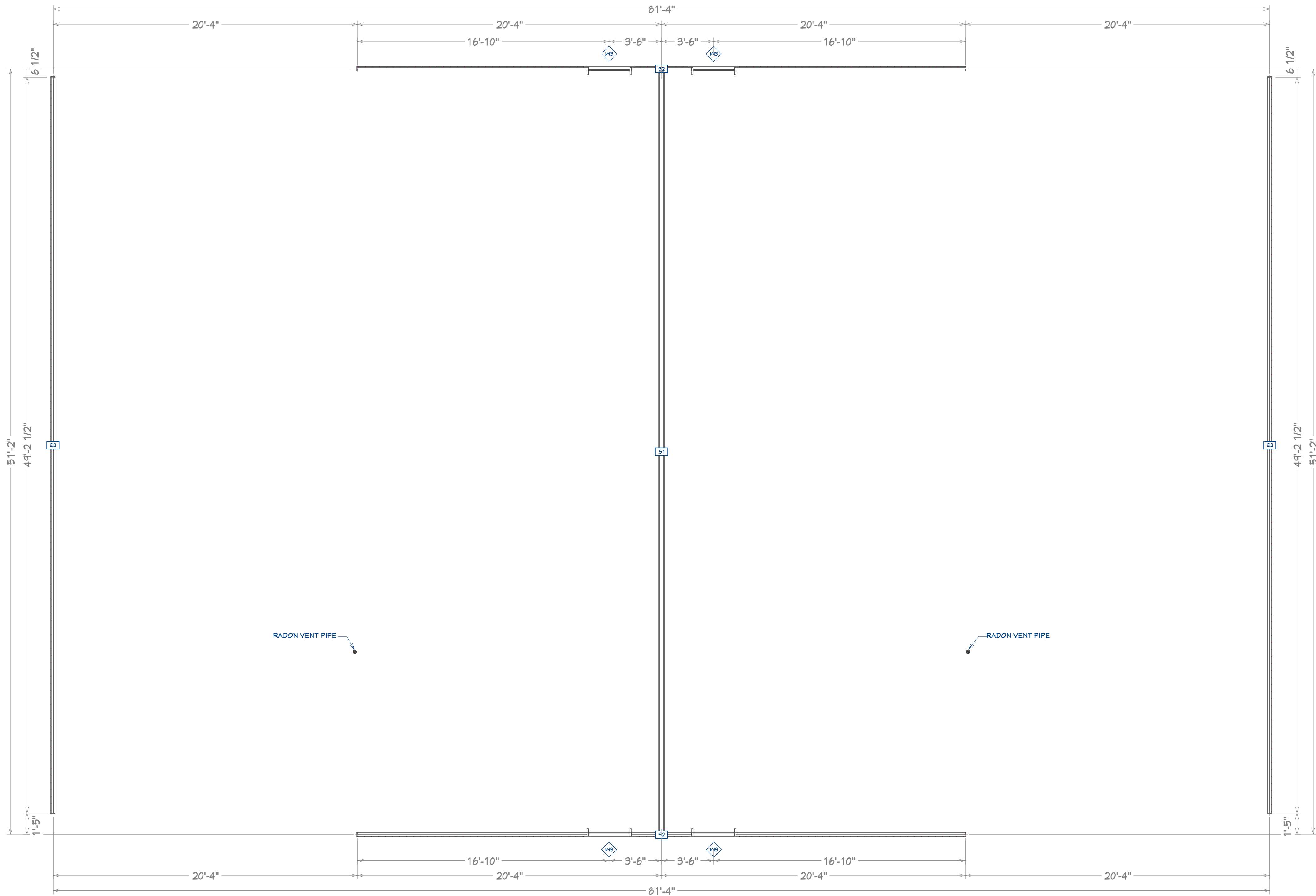
PROJECT DESCRIPTION: BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY: MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

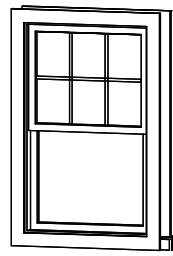
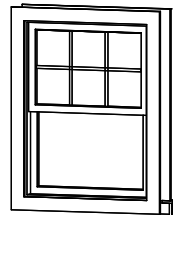
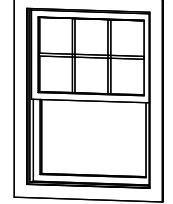
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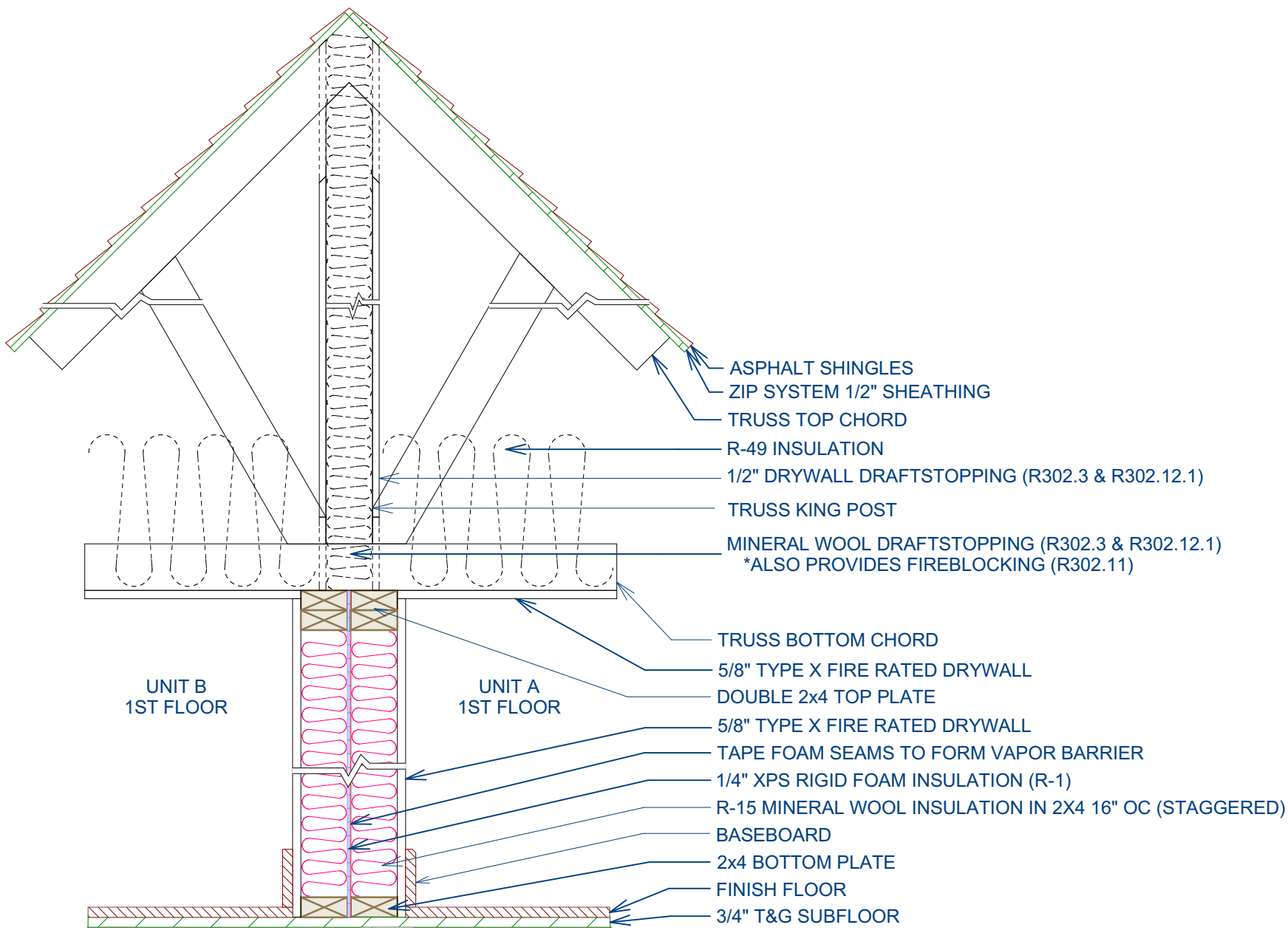
SCALE: 1/4" = 1'

SHEET: 1.A104



WALL KEY - 2ND FLOOR (S)						
SYMBOL	NUMBER	QTY	WALL TYPE	WIDTH	CAVITY R-VALUE	CONTINUOUS R-VALUE
	S1	1	TRUSS KINGPOST DRAFTSTOPPING WALL 1/2" DRYWALL / 1/2" DRYWALL	4 1/2"	15	0
	S2	4	TRUSS GABLE END WALL	3 1/2"	0	6.6

WINDOW SCHEDULE (W)														
3D PERSPECTIVE	NUMBER	FLOOR	SIZE	QTY	MANUFACTURER	DESCRIPTION	DIMENSIONS	R/O	HEADER	TOP	BOTTOM	EGRESS	U-FACTOR	SHGC
	W1	1	3049	14	ANDERSEN	244DH3049 200 SERIES DOUBLE-HUNG WINDOW (TILT-WASH)	35 1/2"x56 1/2"	36"x57"	2X6X39" (2)	42 1/2"	36"	YES	0.29	0.32
	W2	1	3040	2	ANDERSEN	244DH3040 200 SERIES DOUBLE-HUNG WINDOW (TILT-WASH)	35 1/2"x47 1/2"	36"x48"	2X6X39" (2)	42 1/2"	45"		0.29	0.32
	W3	2	3040	4	ANDERSEN	244DH3040 200 SERIES DOUBLE-HUNG WINDOW (TILT-WASH)	35 1/2"x47 1/2"	36"x48"	2X6X39" (2)	83 1/2"	36"		0.29	0.32

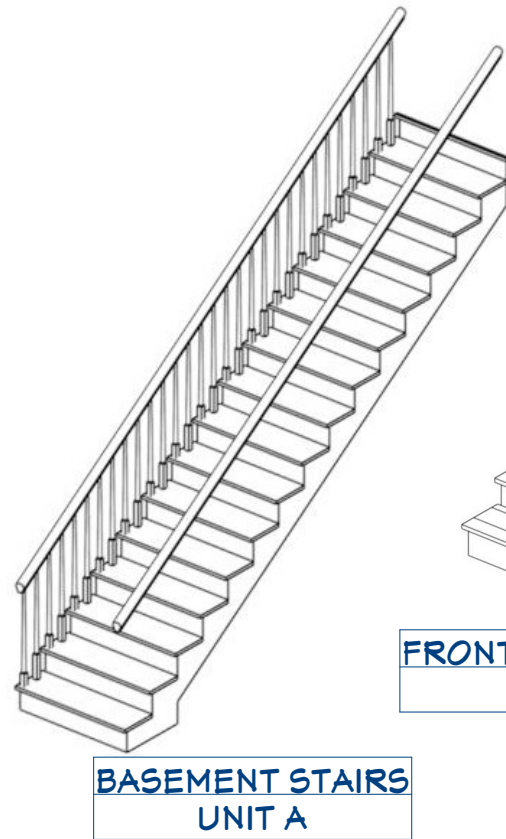


- STAIR & RAILING NOTES**
- STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCR OACH A MAX OF 3 1/2" INTO THE REQUIRED WIDTH.
 - TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
 - STAIRWAYS SHALL HAVE MIN 6'-8" OF HEADROOM AT THE STAIR NOSE.
 - ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.
 - STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
 - HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
 - STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
 - 34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.
 - RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
 - THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

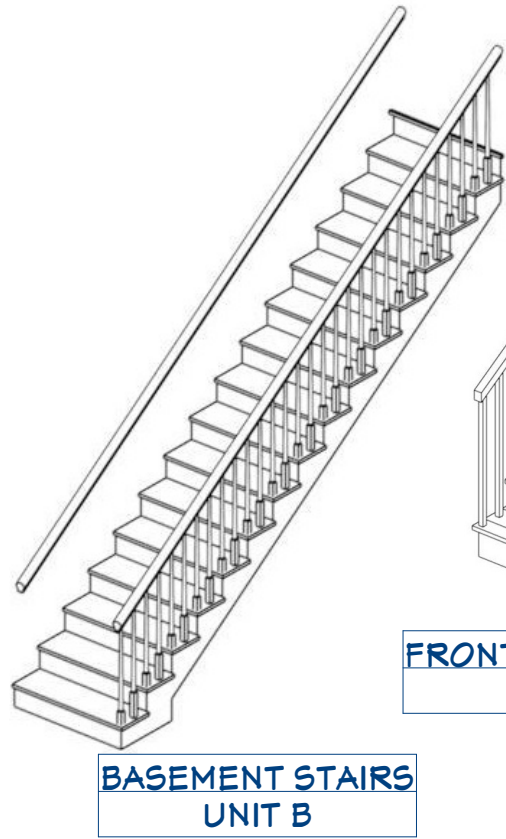
STAIRCASE DIMENSIONS

NAME	LENGTH	HEIGHT	WIDTH	RISE	RUN	TREADS	RISERS	RISE ANGLE	BOTTOM HEIGHT	TOP HEIGHT
BASEMENT STAIRS	165"	106 3/8"	39"	6 5/8"	11"	15	16	31.16	-106 1/8"	1/4"
GARAGE STAIRS	22"	20 7/16"	36"	6 13/16"	11"	2	3	31.73	-20 1/8"	1/4"
FRONT PORCH STAIRS	22"	20 1/8"	48"	6 11/16"	11"	2	3	31.38	-20 1/8"	0"
BACK DECK STAIRS	22"	20 1/8"	39"	6 11/16"	11"	2	3	31.38	-20 1/8"	0"

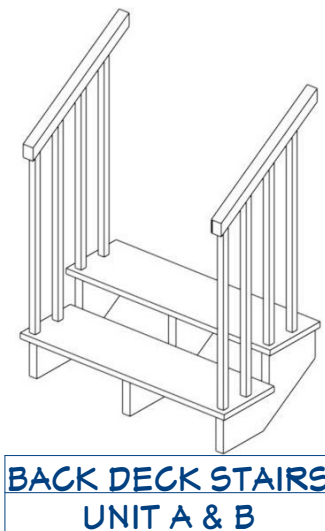
STAIRS FIXTURE SCHEDULE					
SYMBOL	3D PERSPECTIVE	QTY	DESCRIPTION	DEPTH	WIDTH
		2	INSULATED ATTIC LADDER	54 "	22 1/2 "



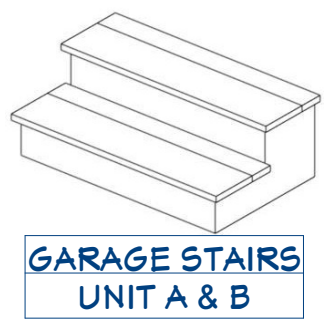
FRONT PORCH STAIRS
UNIT A



BASEMENT STAIRS
UNIT B



BACK DECK STAIRS
UNIT A & B



GARAGE STAIRS
UNIT A & B



REVISION TABLE	
NUMBER	DATE

TITLE: **ARCHITECTURAL
PLANS - ATTIC,
BUILDINGS 1 & 2**

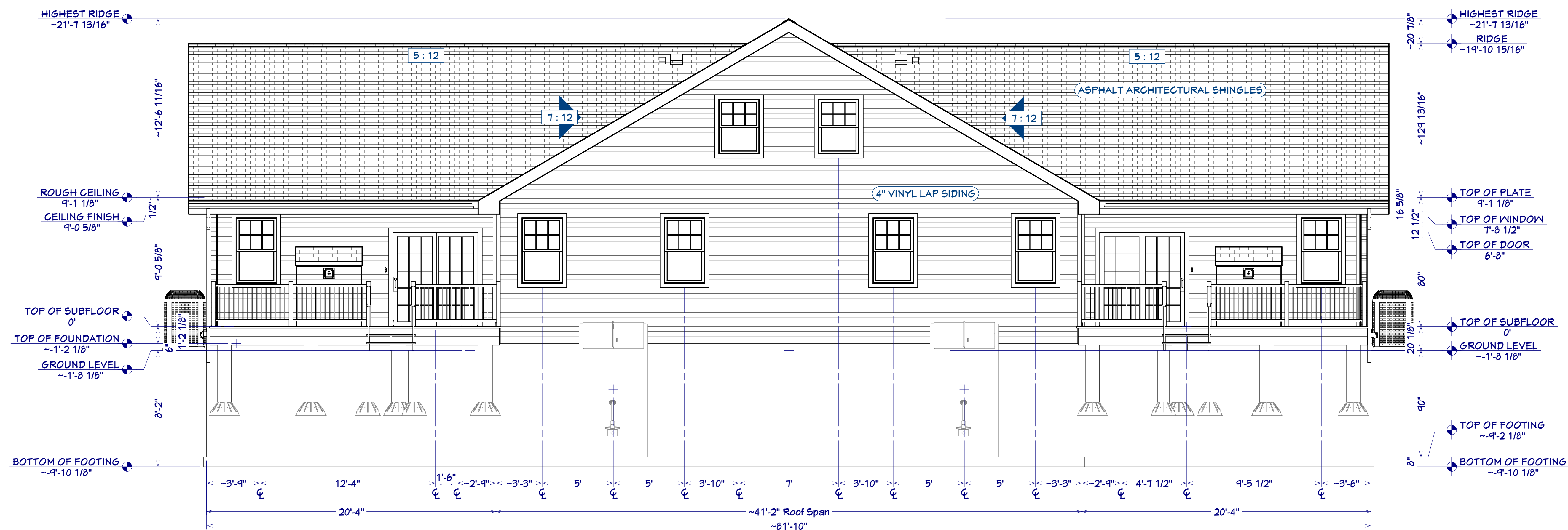
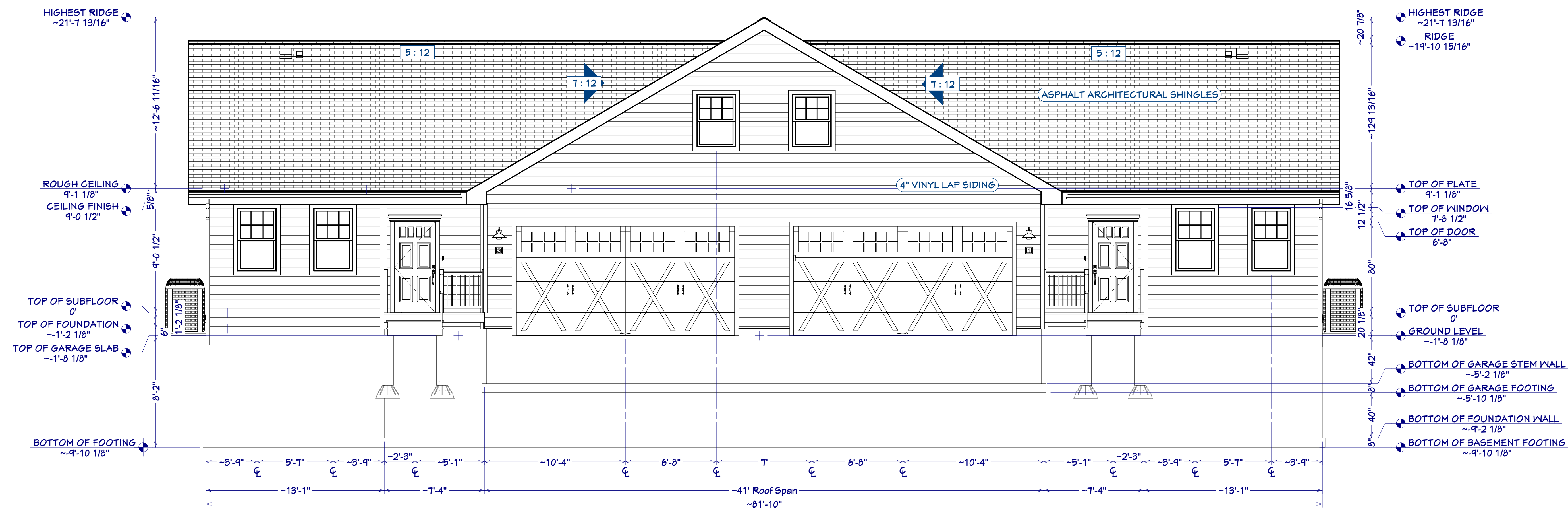
PROJECT DESCRIPTION: **BLUEBIRD MEADOWS - PHASE I**
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE: **5/12/2021**

SCALE: **1/4" = 1'**

SHEET: **1.A105**



BACK ELEVATION

[illegible]

TITLE: **ARCHITECTURAL
ELEVATIONS - FRONT &
BACK**

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:

MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

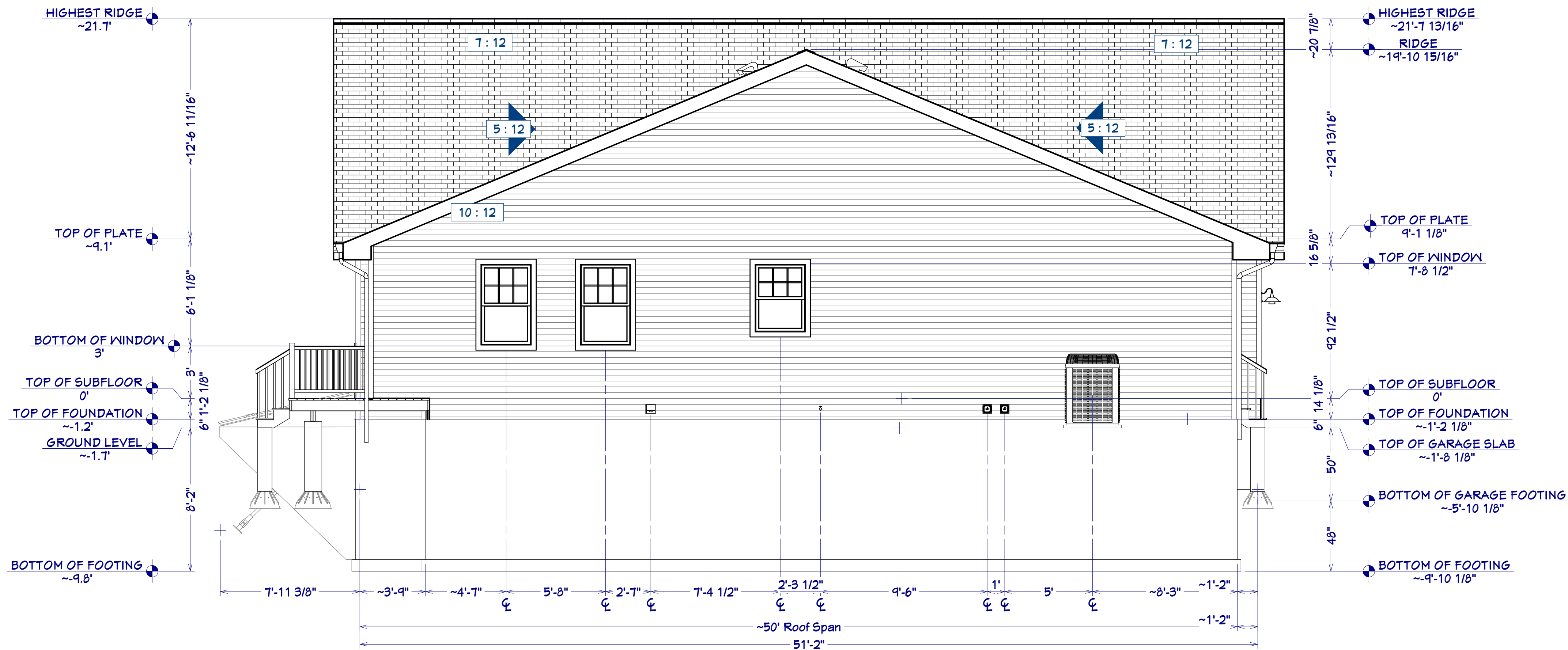
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5/12/2021

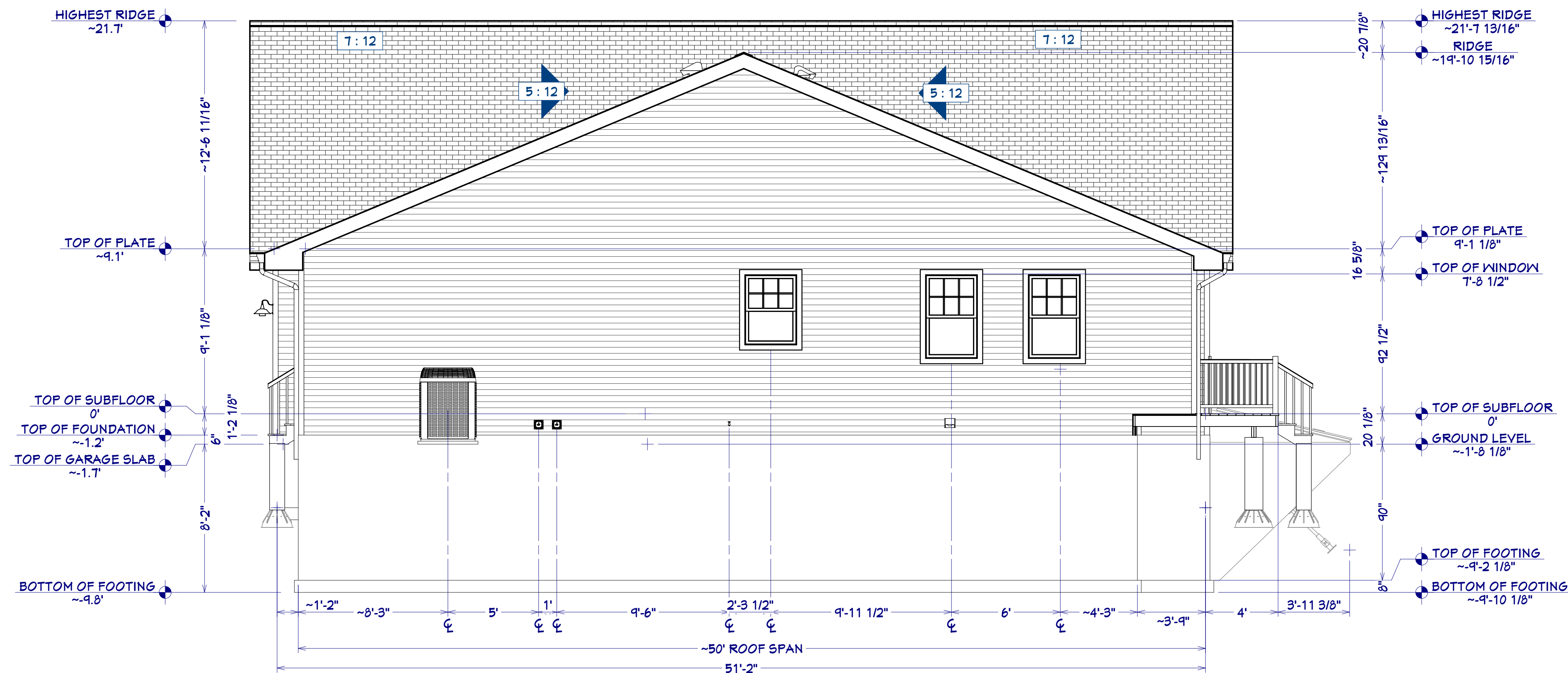
SCALE:

$1/4" = 1'$

SHEET:
1.A201



LEFT ELEVATION



RIGHT ELEVATION

- EXTERIOR FINISH NOTES**
1. EXTERIOR FINISH TO BE 4" VINYL LAP SIDING OVER ZIP SYSTEM 1-1/2" R-6.6 INSULATED SHEATHING. MATERIAL AND COLOR BY OWNER.
 2. WINDOW & DOOR TRIM TO BE VINYL OR COMPOSITE.
 3. ROOFING TO BE ASPHALT OVER ZIP SYSTEM 1/2" SHEATHING.
 4. DECKING TO BE COMPOSITE OR WOOD, FINAL MATERIAL AND COLOR BY OWNER.
 5. DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED INTO RAINWATER INFILTRATION SYSTEM.
 6. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

- FINISH CARPENTRY**
- FURNISH AND INSTALL ALL FINISH CARPENTRY COMPLETE, INCLUDING TRIM, DOOR FRAMES, PANELING AND SHELIVING.
 - INSTALLATION OF FINISH HARDWARE, BATH ACCESSORIES, CABINET PULLS, ETC.

- WORKMANSHIP**
- ALL JOINTS SHALL BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE NEATLY MITERED, BUTTED, OR COPED, WITH NAILS SET AND SURFACES FREE OF TOOL MARKS.
 - WOOD WORK SHALL BE ACCURATELY SCRIBED TO FIT ADJOINING SURFACES.
 - ALL WORK SHALL BE MACHINED OR HAND SANDED, SHARP EDGES AND SPLINTERS REMOVED, AND COMPLETELY PREPARED FOR FINISH.
 - FULL LENGTH CONTINUOUS BOARDS SHALL BE USED WHEREVER APPLICABLE OR SPECIFICALLY NOTED.

- FITTING AND HANGING DOORS**
- EACH DOOR SHALL BE ACCURATELY CUT, TRIMMED, AND FITTED TO ITS RESPECTIVE FRAME AND HARDWARE WITH DUE ALLOWANCE FOR PAINTER'S FINISHES.
 - CLEARANCE AT THE LOCK AND HANGING STILES AND AT THE TOP SHALL NOT EXCEED 1/8". CLEARANCE AT THE BOTTOM SHALL BE ADJUSTED FOR FINISH FLOOR COVERING.
 - LOCK STILE EDGES SHALL BE BEVELED.
 - DOOR SHALL OPERATE FREELY, BUT NOT LOOSELY, WITHOUT STICKING OR BINDING, WITHOUT HINGE BOUND CONDITIONS, AND WITH ALL HARDWARE PROPERLY ADJUSTED AND FUNCTIONING.

- MATERIALS**
- DOOR FRAMES: FRAMES SHALL BE SET PLUMB AND TRUE, RIGIDLY SECURED, AND PROTECTED DURING THE COURSE OF CONSTRUCTION.
 - DOOR STOPS AND CASING: SIZE AND PROFILE AS SELECTED BY OWNER/ CLIENT.
 - EXTERIOR TRIM: REFER TO DRAWINGS FOR EXTERIOR TRIM MATERIAL & SIZES. ALL CUT SIDES/ FACES/EDGES MUST BE PRIMED AND PAINTED. FOLLOW MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

- INTERIOR TRIM**
- INTERIOR RAILS: CLEAR MATERIAL, FINISHED TO MATCH CASEWORK.
 - WINDOW TRIM: 1X CLEAR WOOD TO MATCH CASEWORK OR AS NOTED IN DRAWINGS (VERIFY WITH OWNER).
 - BASE BOARDS: AS NOTED IN DRAWINGS OR APPROVED BY OWNER.

- INSULATION**
- INSTALL INSULATION BETWEEN JOISTS, BELOW ALL ROOF SURFACES, AND AREAS INCLUDING ANY VERTICAL WALL AREAS SEPARATING LIVING SPACES FROM UNCONDITIONED SPACE AND BETWEEN STUDS AT ALL EXTERIOR WALLS. INSULATION SHALL BE SECURELY INSTALLED AND TIGHTLY FITTED WITHOUT COMPRESSING THE NORMAL LOFT THICKNESS.
 - PROVIDE INSULATION STOPS/BAFFLES AS REQUIRED TO PREVENT OBSTRUCTION OF VENTS.

- AIR INFILTRATION**
- COMPLETE AIR BARRIER BETWEEN ATTIC AND CONDITIONED SPACE & ALL PENETRATIONS SEALED.
 - AIR FILTER HOUSINGS MUST BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE.
 - AIR SEAL VENTILATION DUCTWORK.

- INTERSTITIAL CONDENSATION**
- CLOTHES DRYERS VENTED OUTDOORS.
 - INSULATE ALL COLD WATER PIPES AND AVOID PLUMBING IN EXTERIOR WALLS.

- HEAT LOSS**
- INSULATE ALL VENTILATION EXHAUST DUCTWORK (MIN R-8) OUTSIDE OF THE INSULATED ENVELOPE.
 - R-5 SLAB EDGE INSULATION BREAK AT FOUNDATION WALL INTERSECTION & R-10 SLAB EDGE INSULATION OUTWARD OF ANY WALK-OUT SLAB EDGE.
 - INSTALL INSULATION WIND BAFFLES AT ATTIC EAVE BAYS.

- THERMAL & MOISTURE PROTECTION**
- INSTALL WINDOWS, DOORS, EXTERIOR CLADDING, FLASHINGS & SEALANTS AS DETAILED IN THIS DRAWING SET.
 - ALL DECK LEDGERS MUST BE PRESSURE TREATED MATERIAL.
 - ALL PENETRATIONS THAT PASS THROUGH EXTERIOR CLADDING INTO STRUCTURE MUST BE FULLY SEALED.
 - INSTALL MATERIALS WITH PROPER DETAILING TO CONTROL DEGRADATION FROM MOISTURE.



REVISION TABLE	
NUMBER	DATE

TITLE: **ARCHITECTURAL ELEVATIONS - LEFT & RIGHT**

PROJECT DESCRIPTION: **BLUEBIRD MEADOWS - PHASE I**
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY: **MILLSPAUGH PROPERTIES**
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

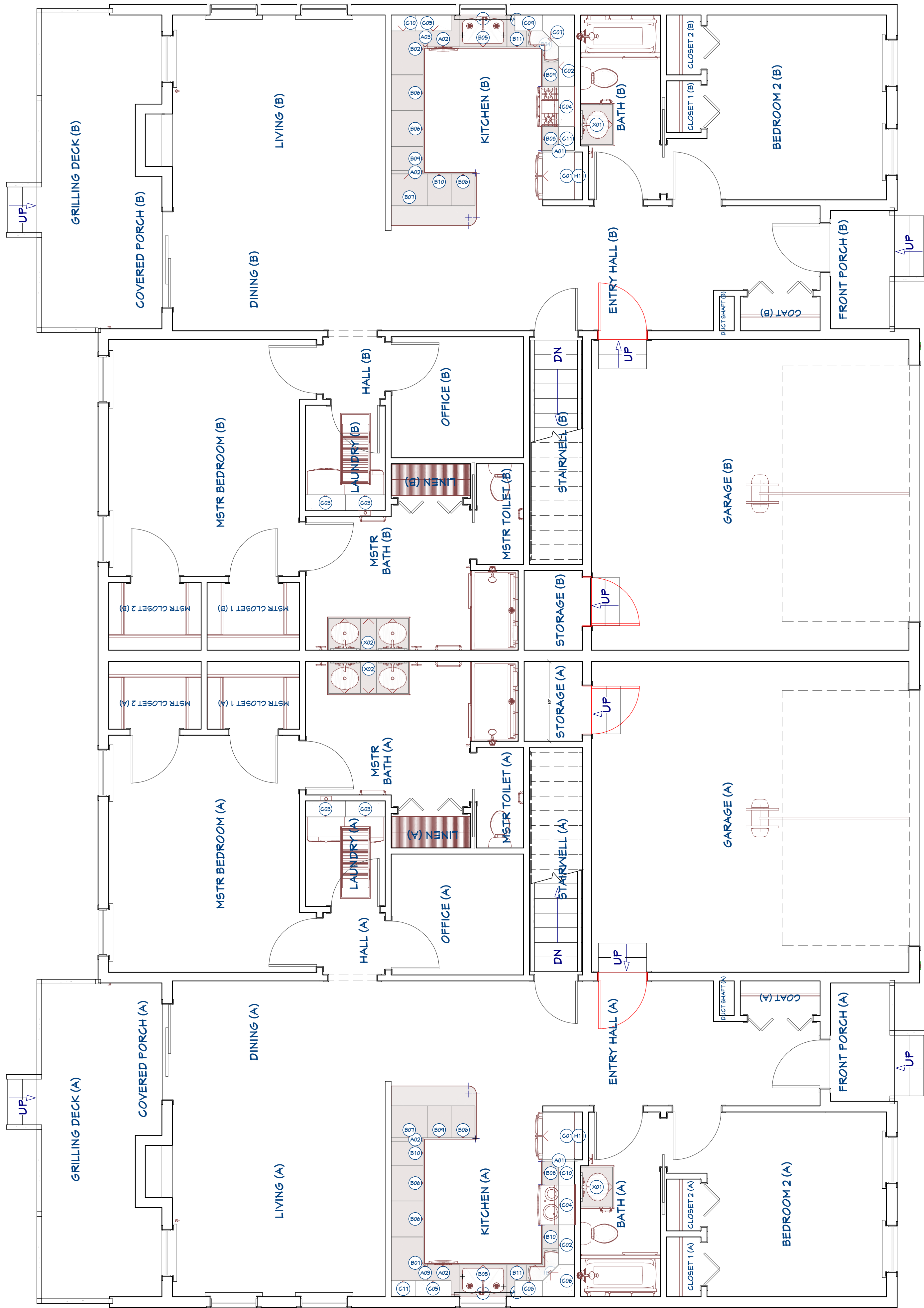
5/12/2021

SCALE:

1/4" = 1'

SHEET:

1.A202



ROTATE 12.0° N
ROTATE 12.0° N
BUILDING 1 BUILDING 2

CUSTOMER SUPPLIED CABINETS

CABINET SCHEDULE - CUSTOMER SUPPLIED	
3D PERSPECTIVE NUMBER LABEL	QTY DESCRIPTION
X01	30" VANITY W/ MIRRORS
X02	60" VANITY W/ MIRRORS
X03	CUSTOMER PROVIDED 30" VANITY W/ COUNTERTOP, BACKSPLASH, SINK, MIRROR & KNOBS/PULLS
X04	CUSTOMER PROVIDED 60" VANITY W/ COUNTERTOP, BACKSPLASH, SINK, MIRROR & KNOBS/PULLS

CABINET SCHEDULE - BASE & FULL	
3D PERSPECTIVE NUMBER LABEL	QTY DESCRIPTION
B01	BASE CABINET
B02	BASE CABINET
B03	LAZY SUSAN CORNER BASE CABINET
B04	LAZY SUSAN CORNER BASE CABINET
B05	BASE CABINET
B06	BASE CABINET
B07	PENINSULA BASE CABINET (DOORS IN BACK)
B08	BASE CABINET
B09	BASE CABINET
B10	BASE CABINET
B11	DOUBLE WASTE CONTAINER BASE CABINET

CABINET SCHEDULE - WALL	
3D PERSPECTIVE NUMBER LABEL	QTY DESCRIPTION
W01	ABOVE-THE-FRIDGE WALL CABINET
W02	WALL CABINET
W03	WALL CABINET
W04	ABOVE-THE-RANGE / LAZY SUSAN WALL CABINET
W05	WALL CABINET
W06	LAZY SUSAN CORNER WALL CABINET
W07	LAZY SUSAN CORNER WALL CABINET
W08	WALL CABINET
W09	WALL CABINET
W10	WALL CABINET
W11	204 LITE GLASS DOOR WALL CABINET

CABINET SCHEDULE - OTHER	
3D PERSPECTIVE NUMBER LABEL	QTY DESCRIPTION
A01	PARTITION
A02	BASE CABINET FILLER
A03	BASE CABINET FILLER
A04	DOUBLE WASTE CONTAINER
A05	BASE LAZY SUSAN
A06	WALL LAZY SUSAN

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

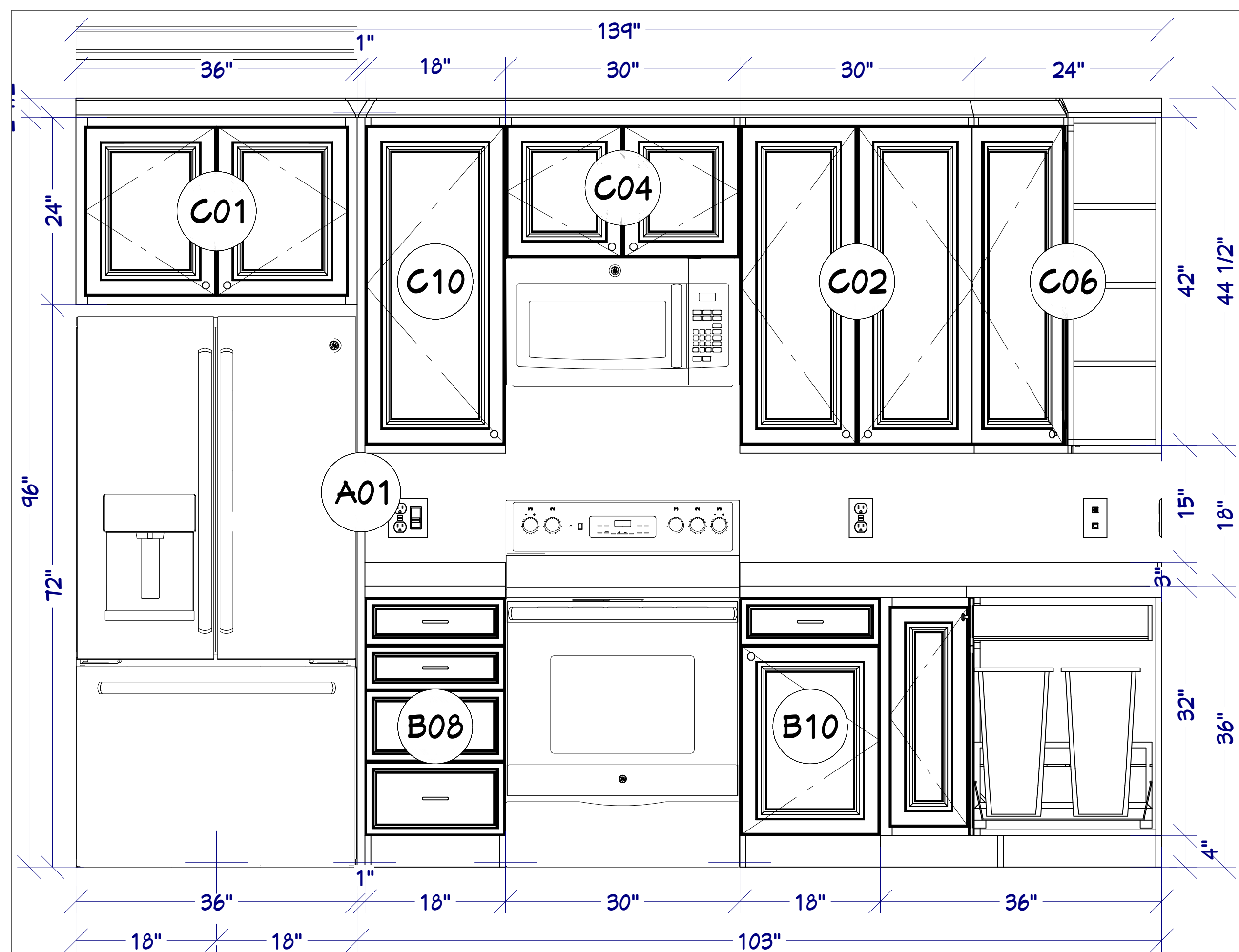
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ARCHITECTURAL
CABINETS SCHEDULE

REVISION TABLE	
NUMBER	DATE

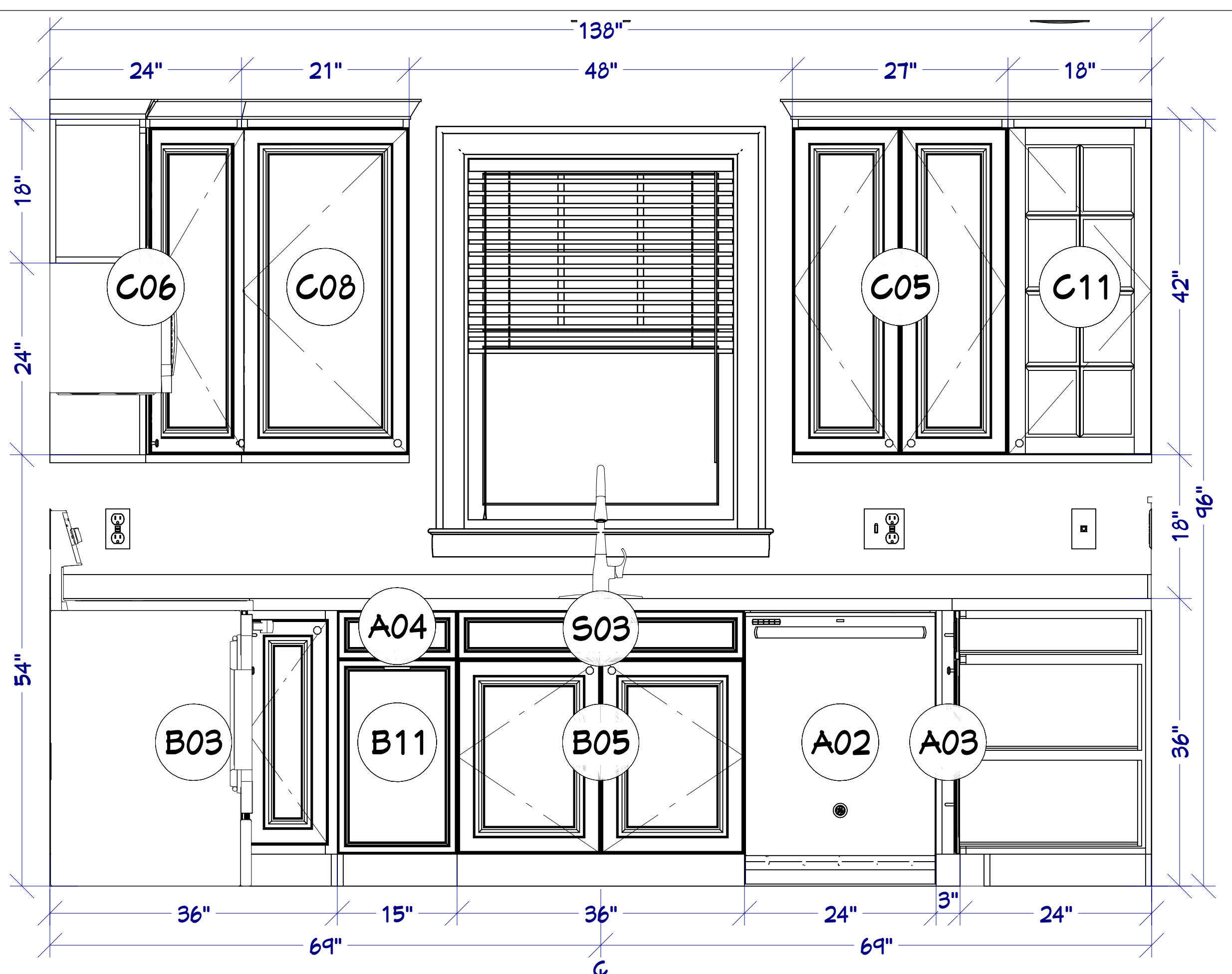
SHEET:
1.A601

SCALE:
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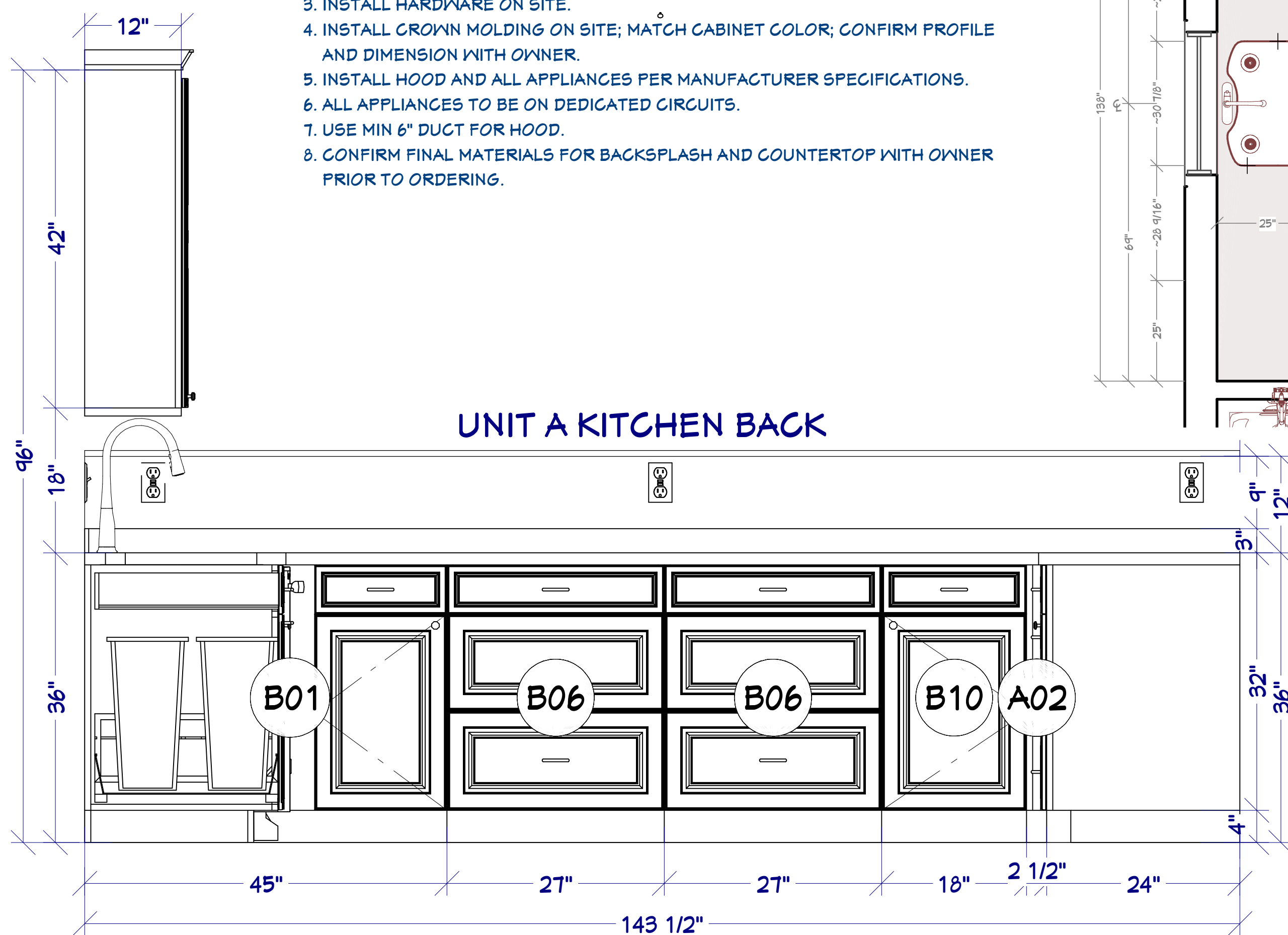
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5/12/2021



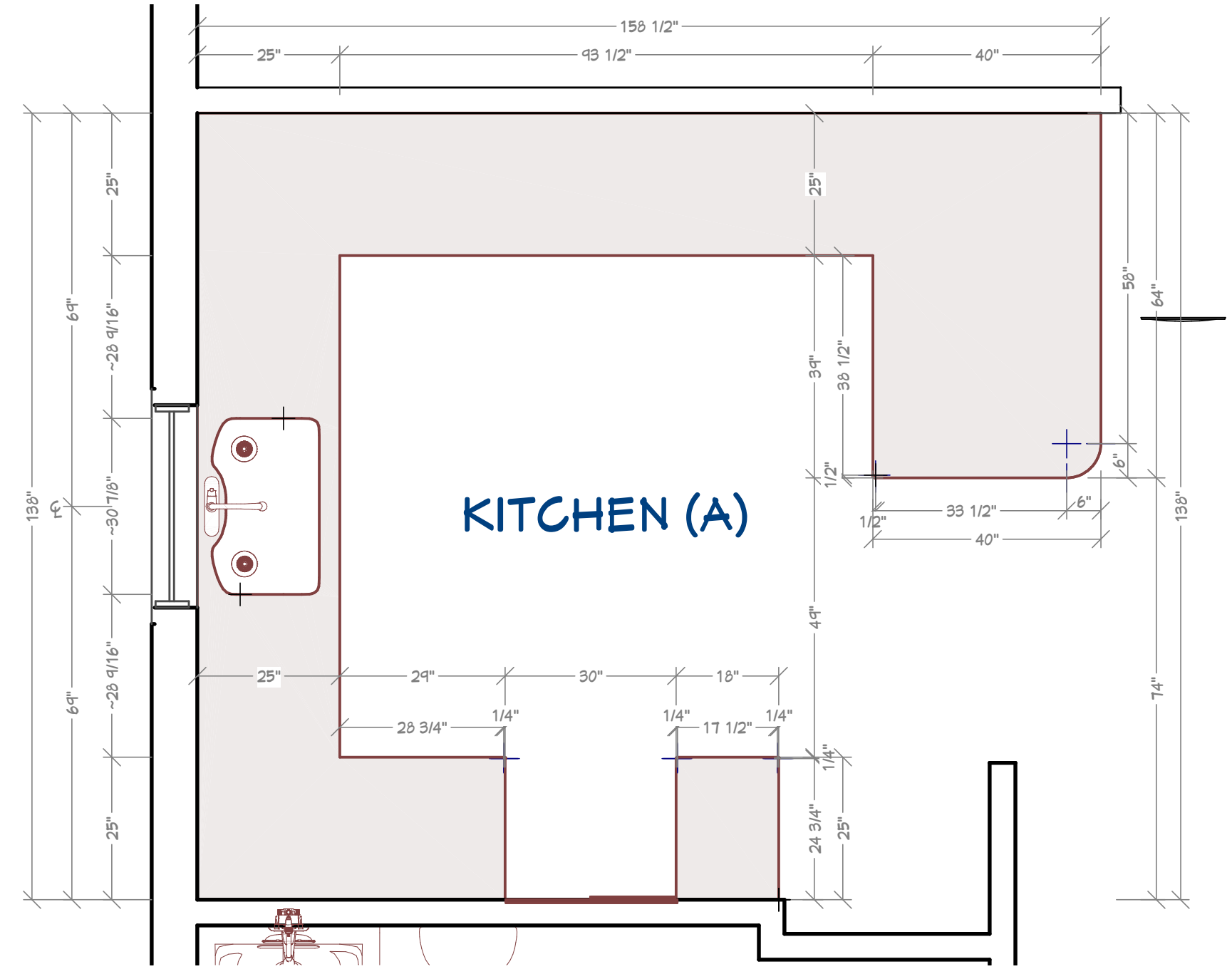
UNIT A KITCHEN FRONT



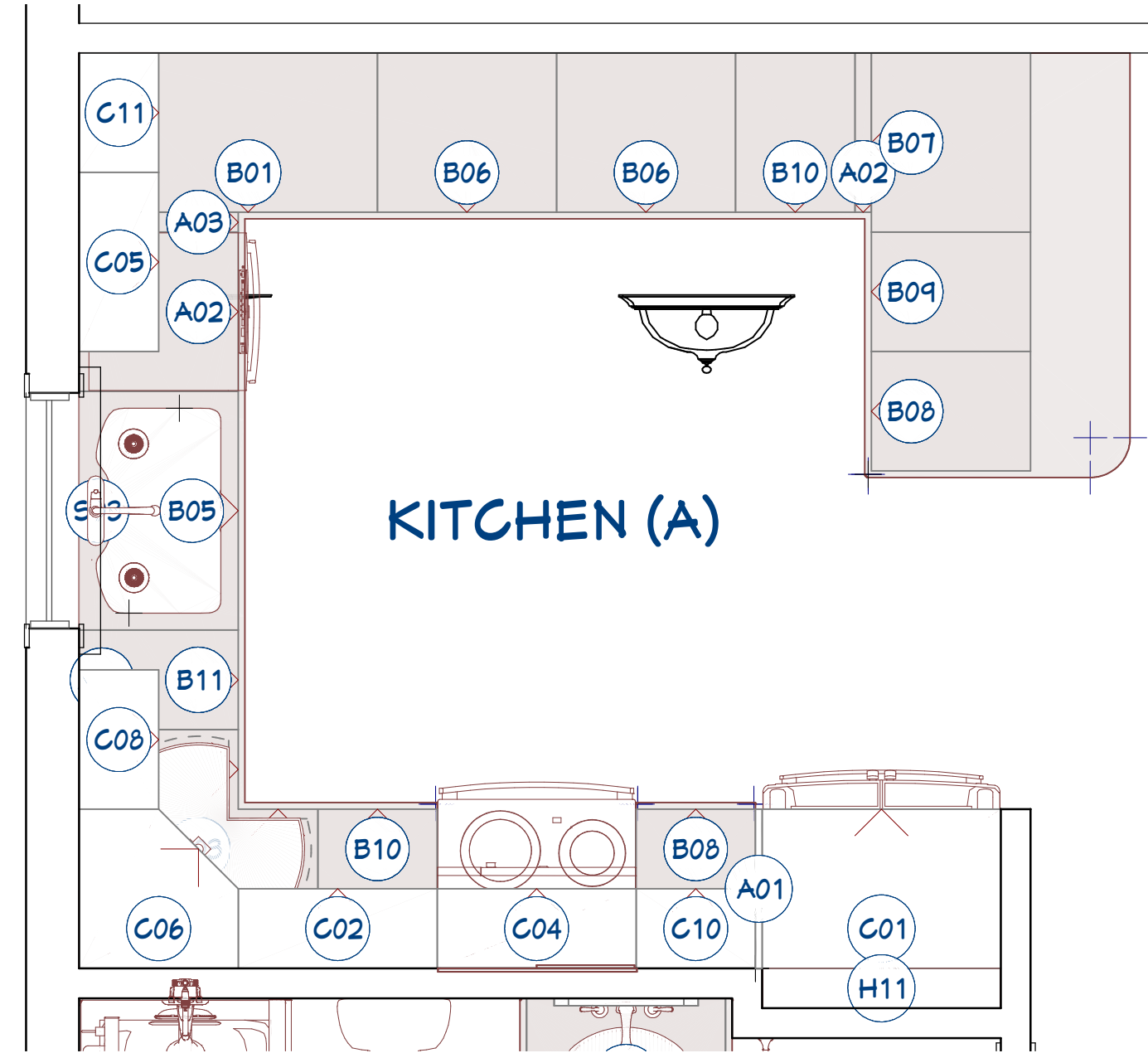
UNIT A KITCHEN LEFT



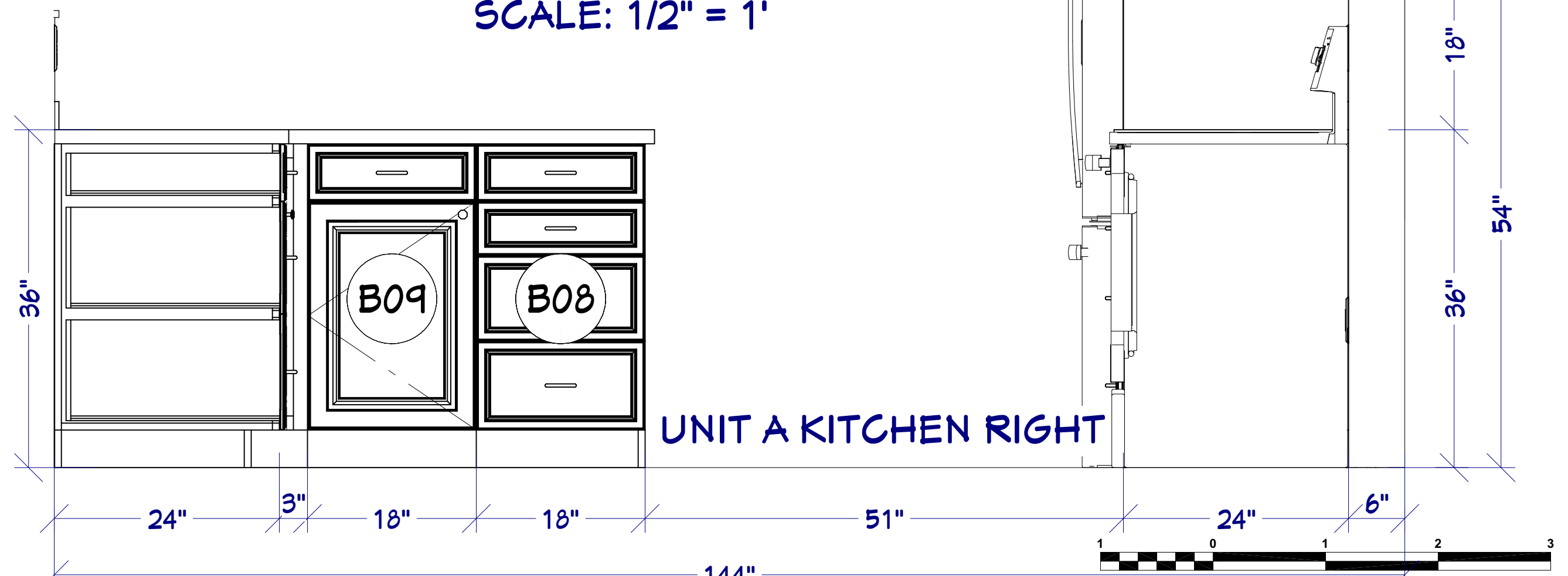
UNIT A KITCHEN BACK



SCALE: 1/2" = 1"



SCALE: 1/2" = 1"



UNIT A KITCHEN RIGHT

- KITCHEN AND CABINET NOTES**
1. ALL CABINETS IN WHITE, CONFIRM COLOR WITH OWNER PRIOR TO ORDERING.
 2. CONFIRM DOOR & DRAWER STYLES WITH OWNER PRIOR TO ORDERING.
 3. INSTALL HARDWARE ON SITE.
 4. INSTALL CROWN MOLDING ON SITE; MATCH CABINET COLOR; CONFIRM PROFILE AND DIMENSION WITH OWNER.
 5. INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS.
 6. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.
 7. USE MIN 6" DUCT FOR HOOD.
 8. CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH OWNER PRIOR TO ORDERING.

REVISION TABLE	
NUMBER	DATE

TITLE: **ARCHITECTURAL
CABINETS - KITCHEN,
UNIT A**

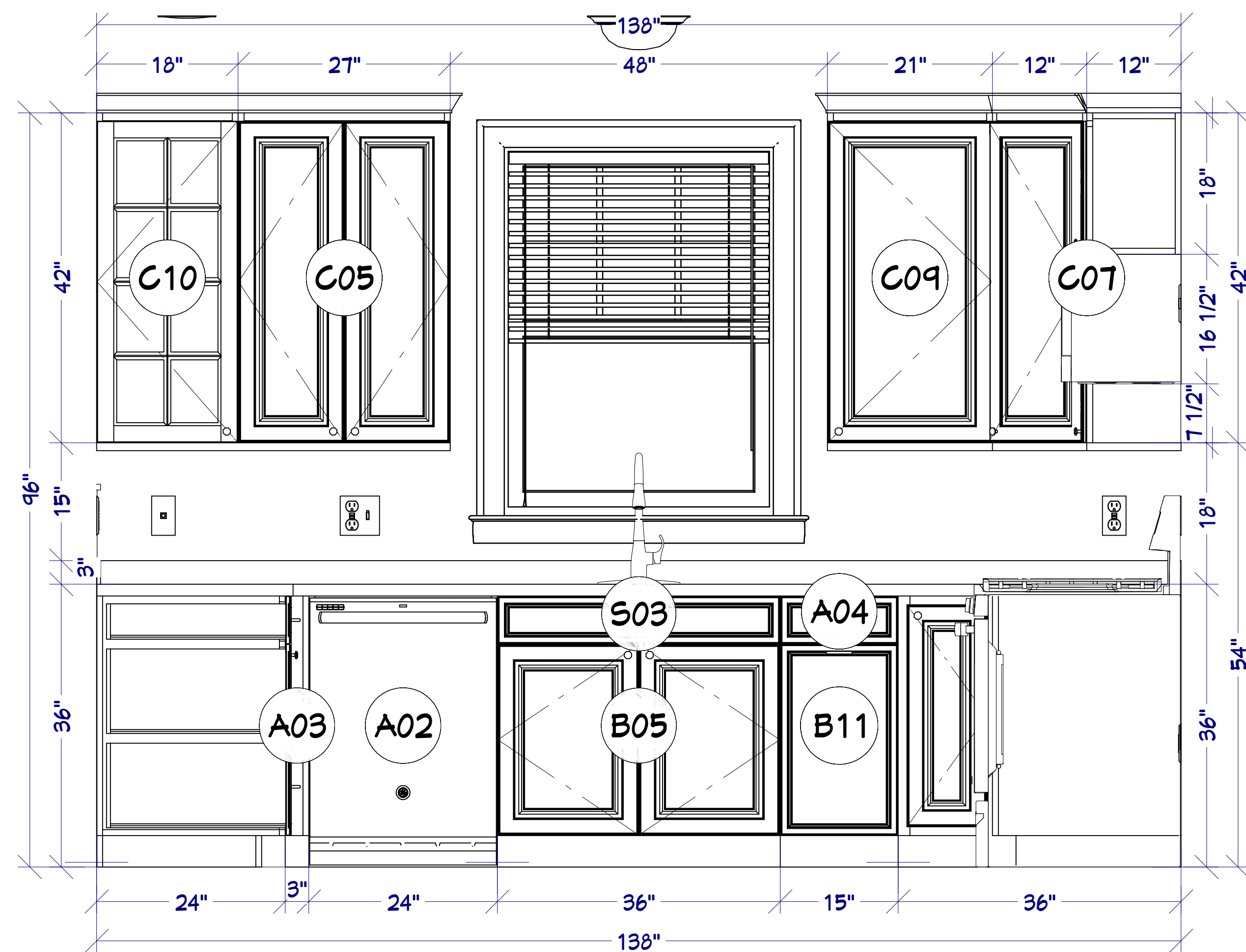
PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

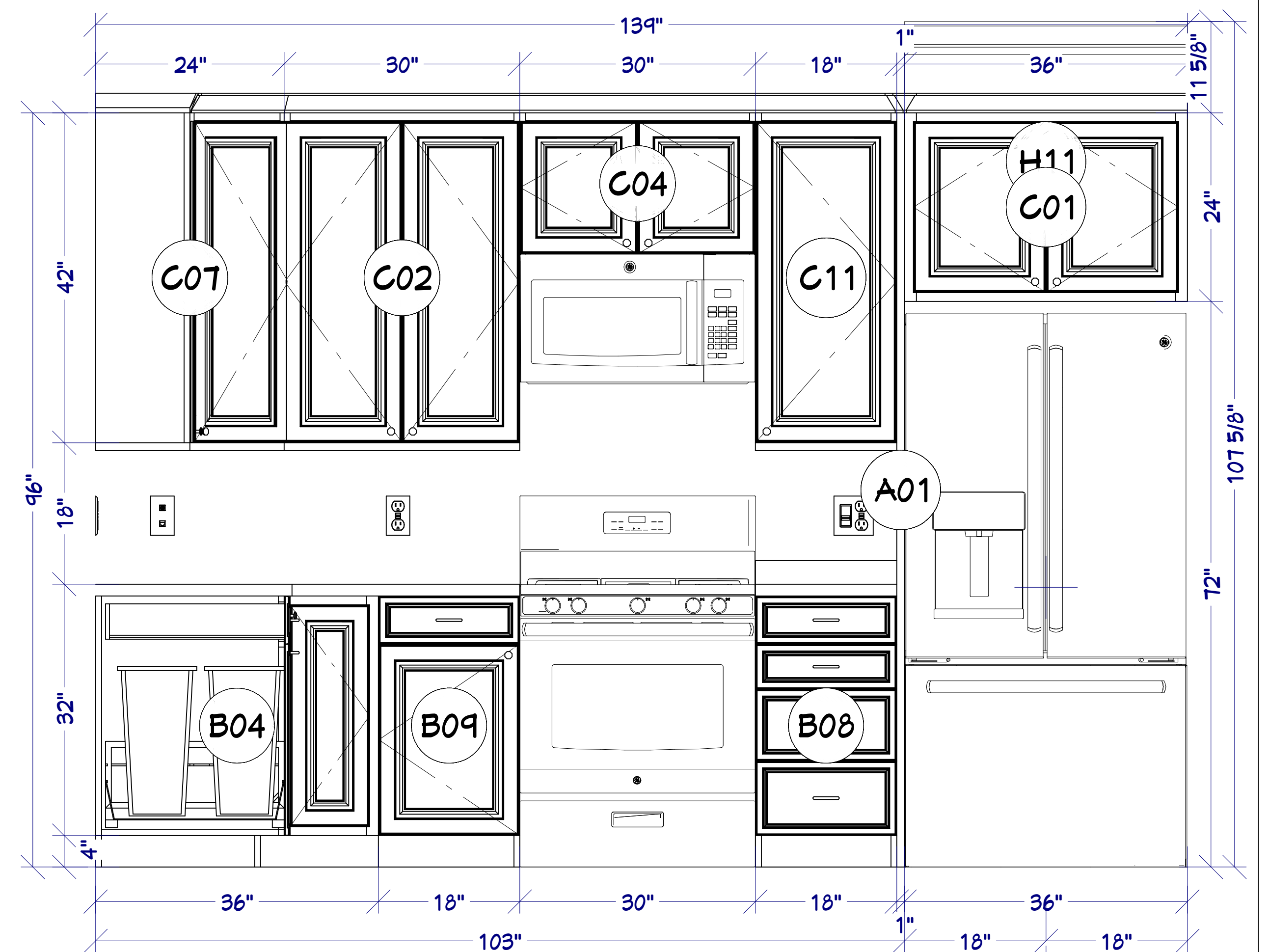
DATE:
5/12/2021

SCALE:
1" = 1'

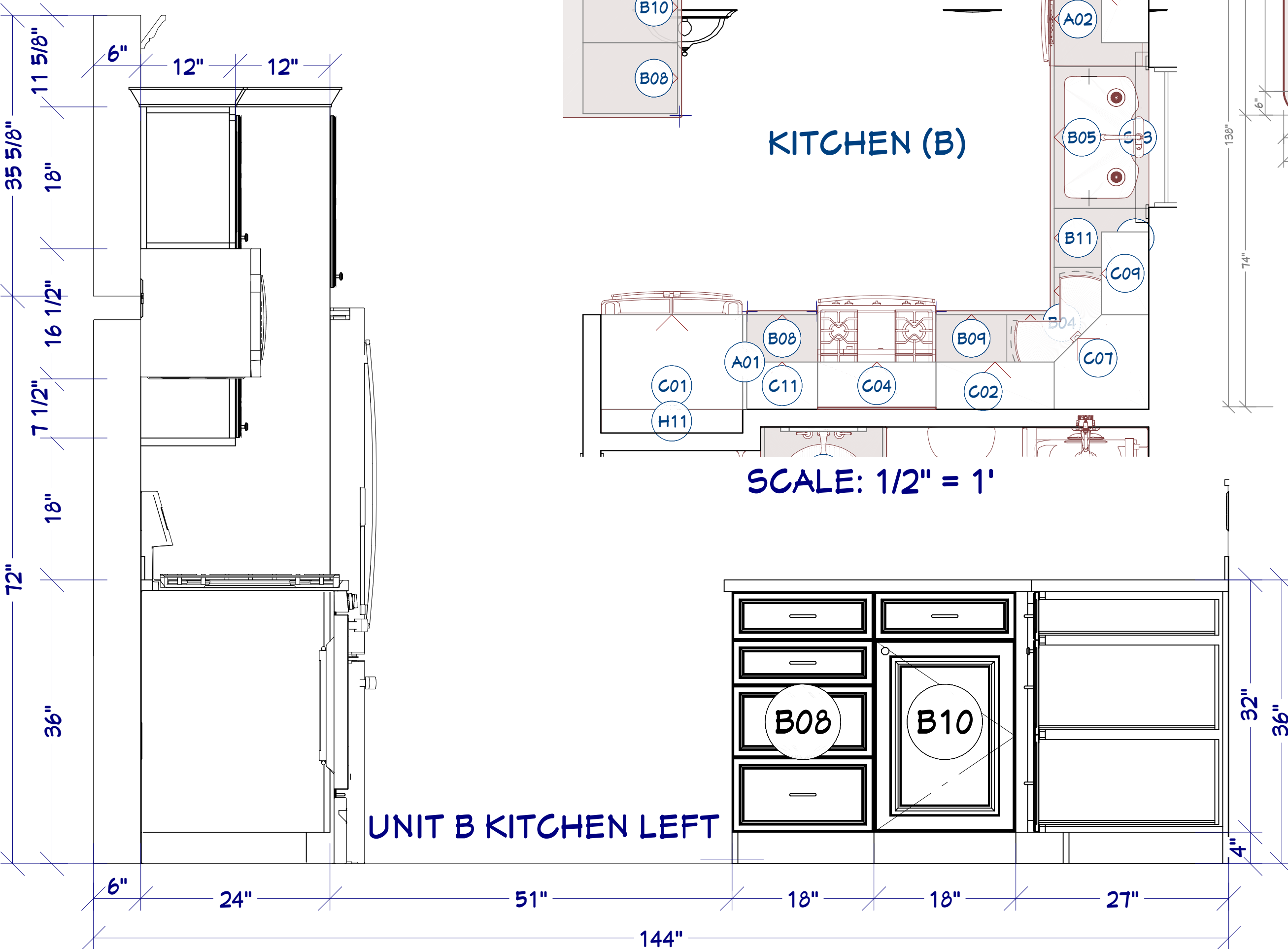
SHEET:
1.A602



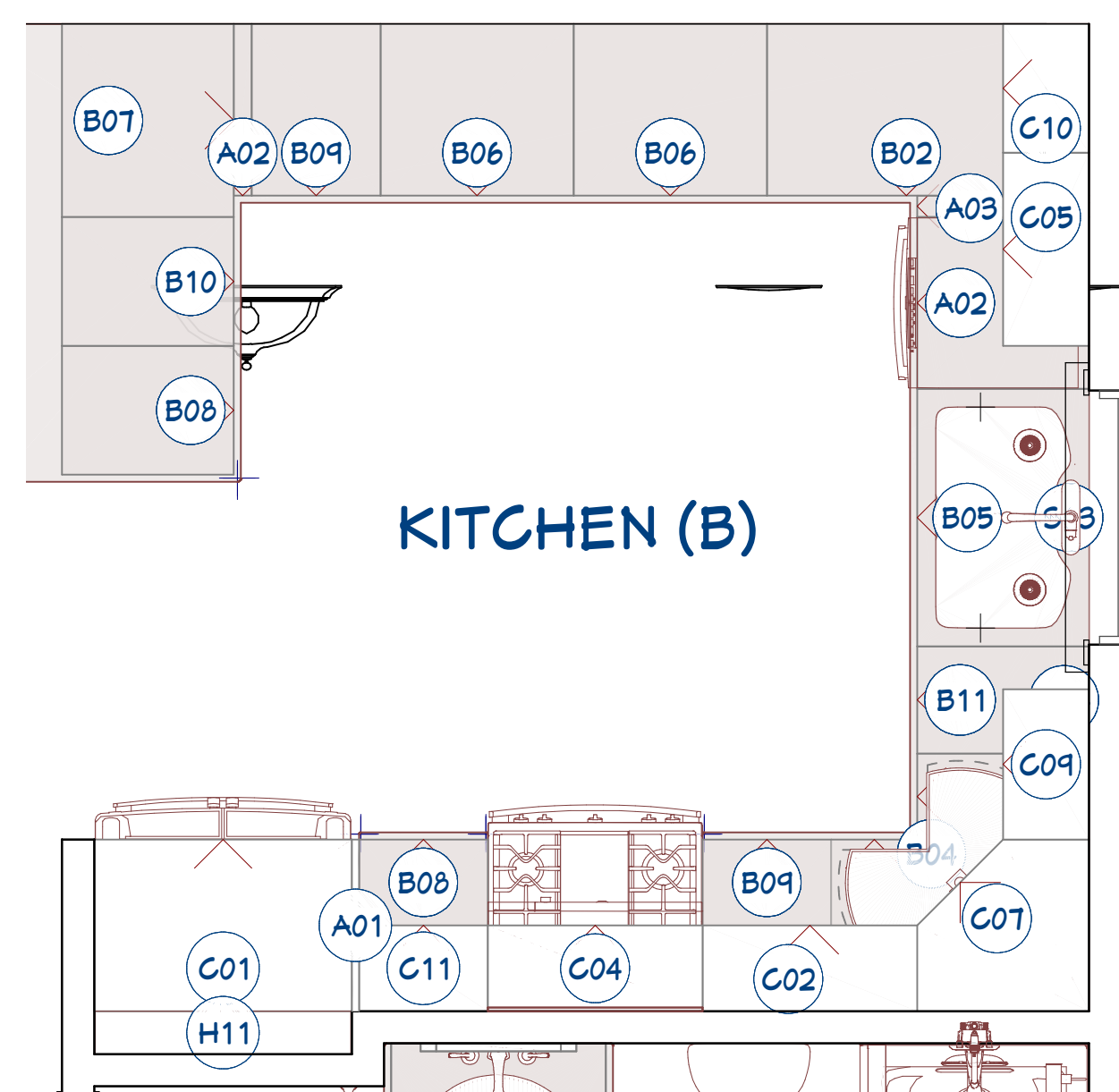
UNIT B KITCHEN RIGHT



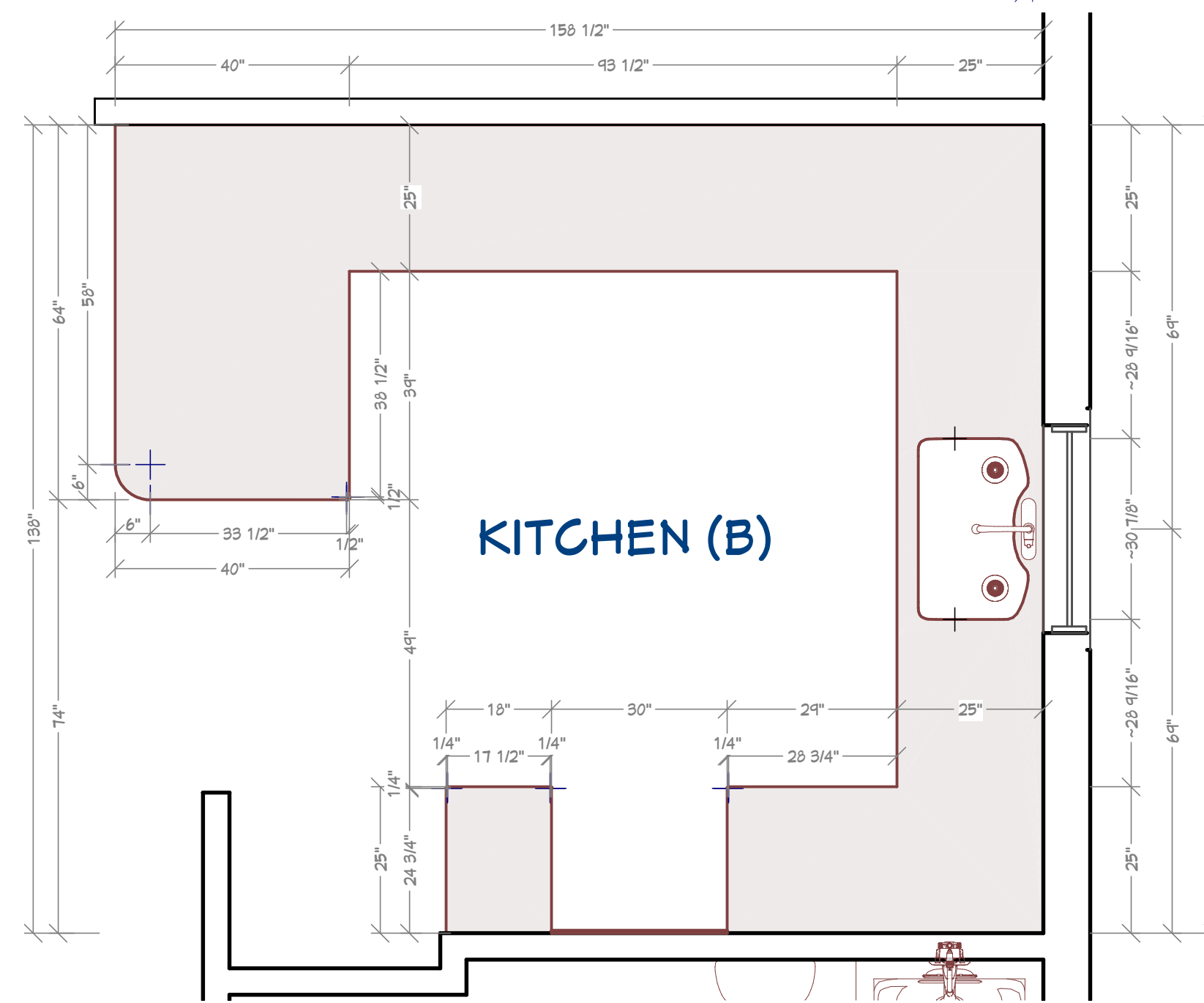
UNIT B KITCHEN FRONT



UNIT B KITCHEN LEFT



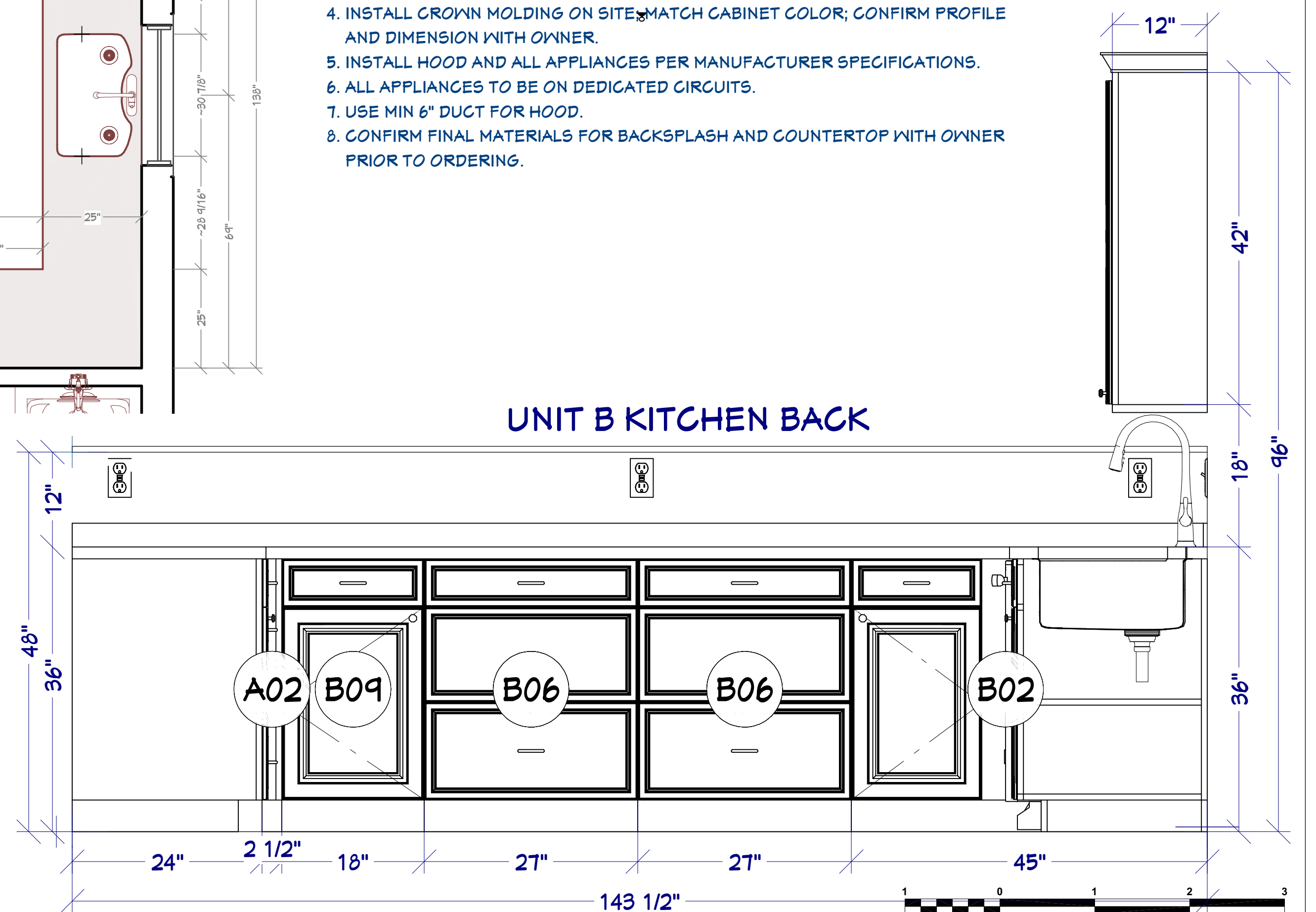
SCALE: 1/2" = 1'



SCALE: 1/2" = 1'

KITCHEN AND CABINET NOTES

1. ALL CABINETS IN WHITE, CONFIRM COLOR WITH OWNER PRIOR TO ORDERING.
2. CONFIRM DOOR & DRAWER STYLES WITH OWNER PRIOR TO ORDERING.
3. INSTALL HARDWARE ON SITE.
4. INSTALL CROWN MOLDING ON SITE, MATCH CABINET COLOR; CONFIRM PROFILE AND DIMENSION WITH OWNER.
5. INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS.
6. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.
7. USE MIN 6" DUCT FOR HOOD.
8. CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH OWNER PRIOR TO ORDERING.



UNIT B KITCHEN BACK

REVISION TABLE

NUMBER	DATE	REVISION BY	DESCRIPTION

TITLE: ARCHITECTURAL
CABINETS - KITCHEN,
UNIT B

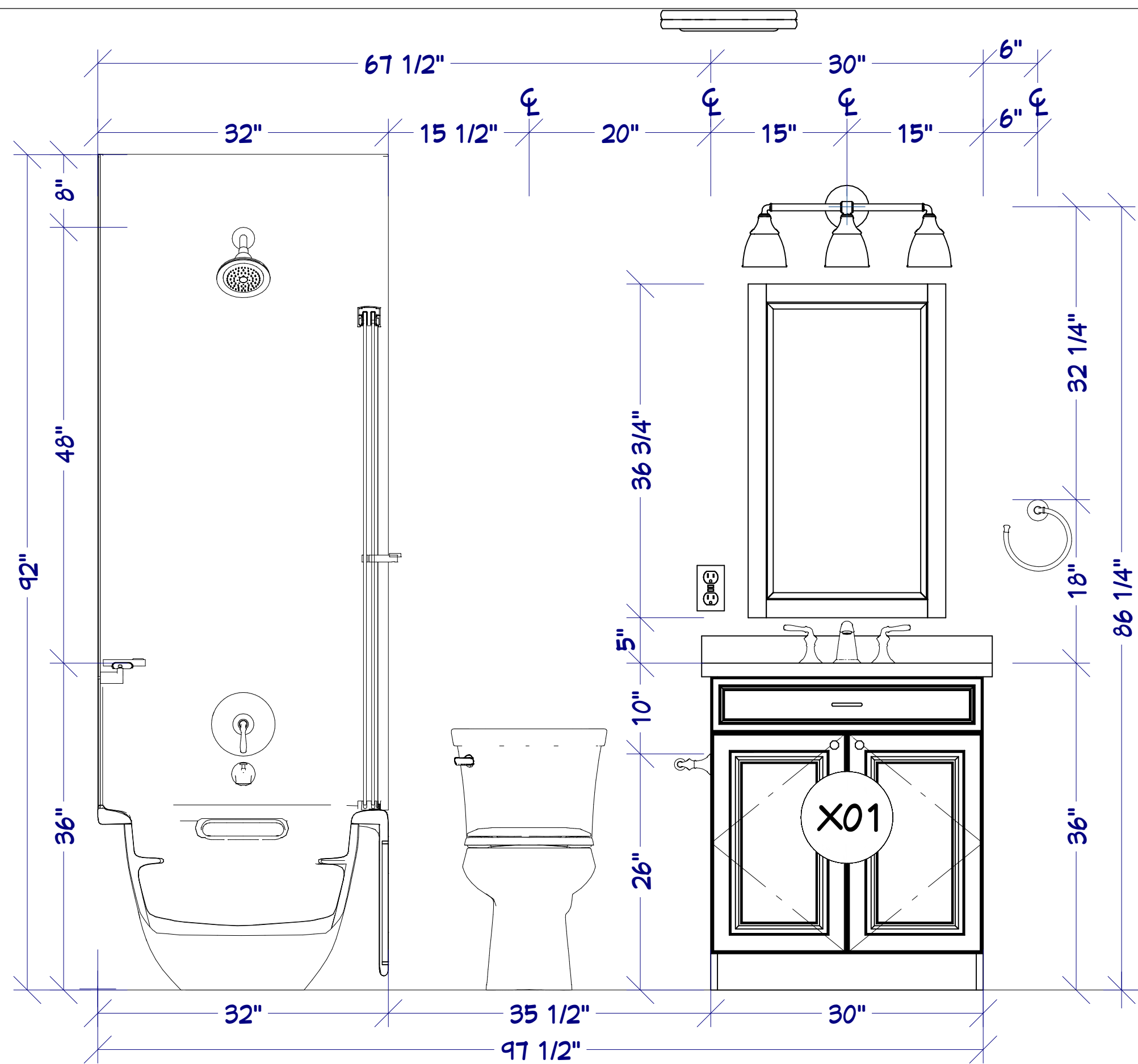
PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

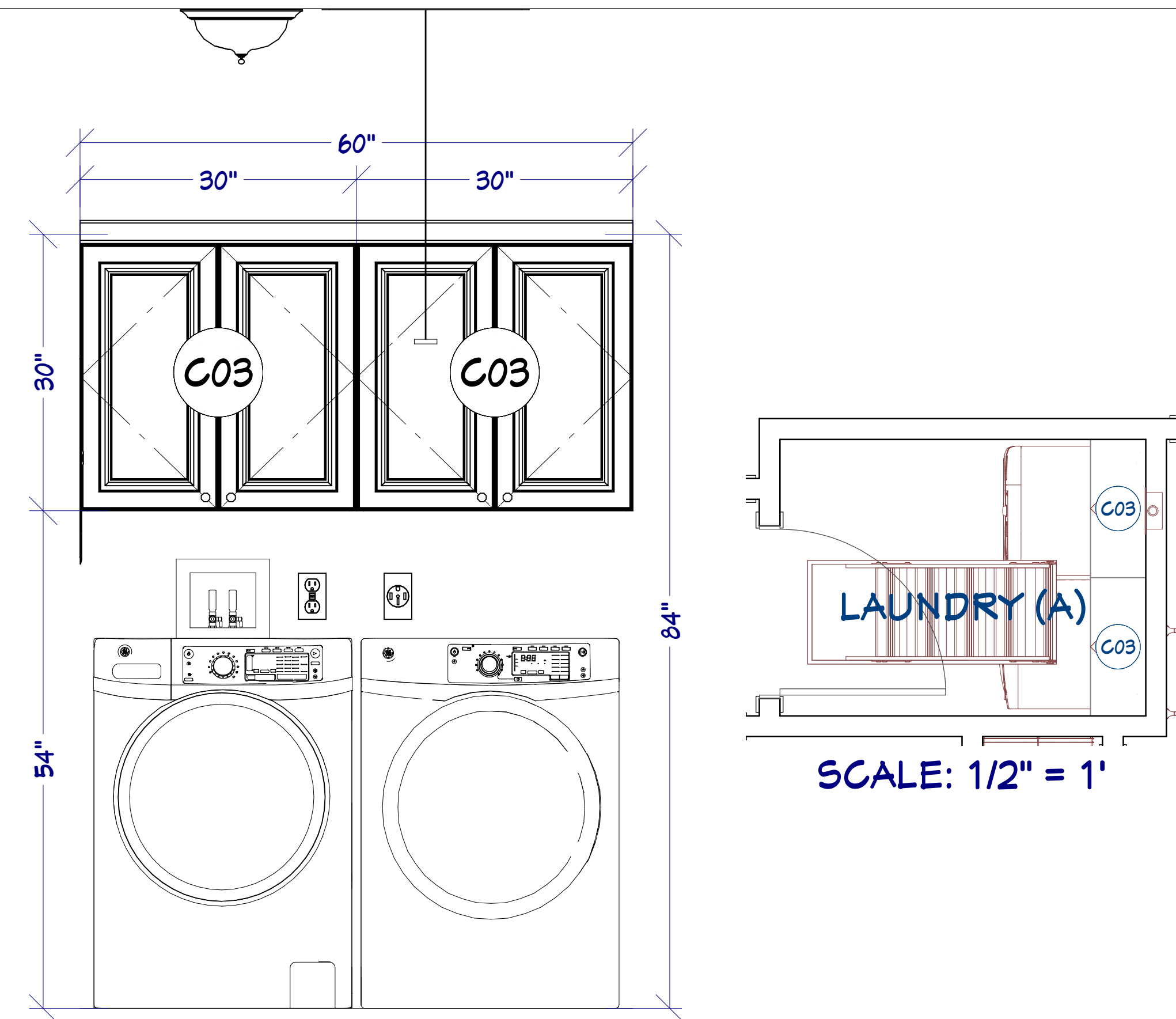
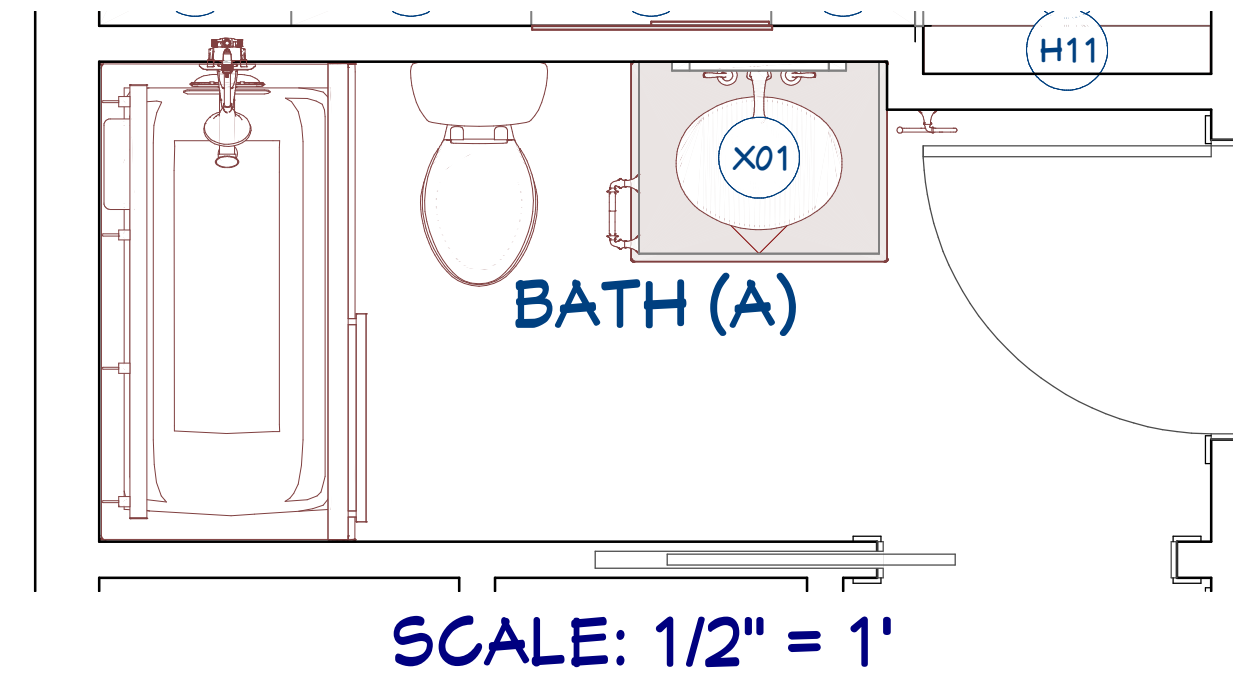
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5/12/2021

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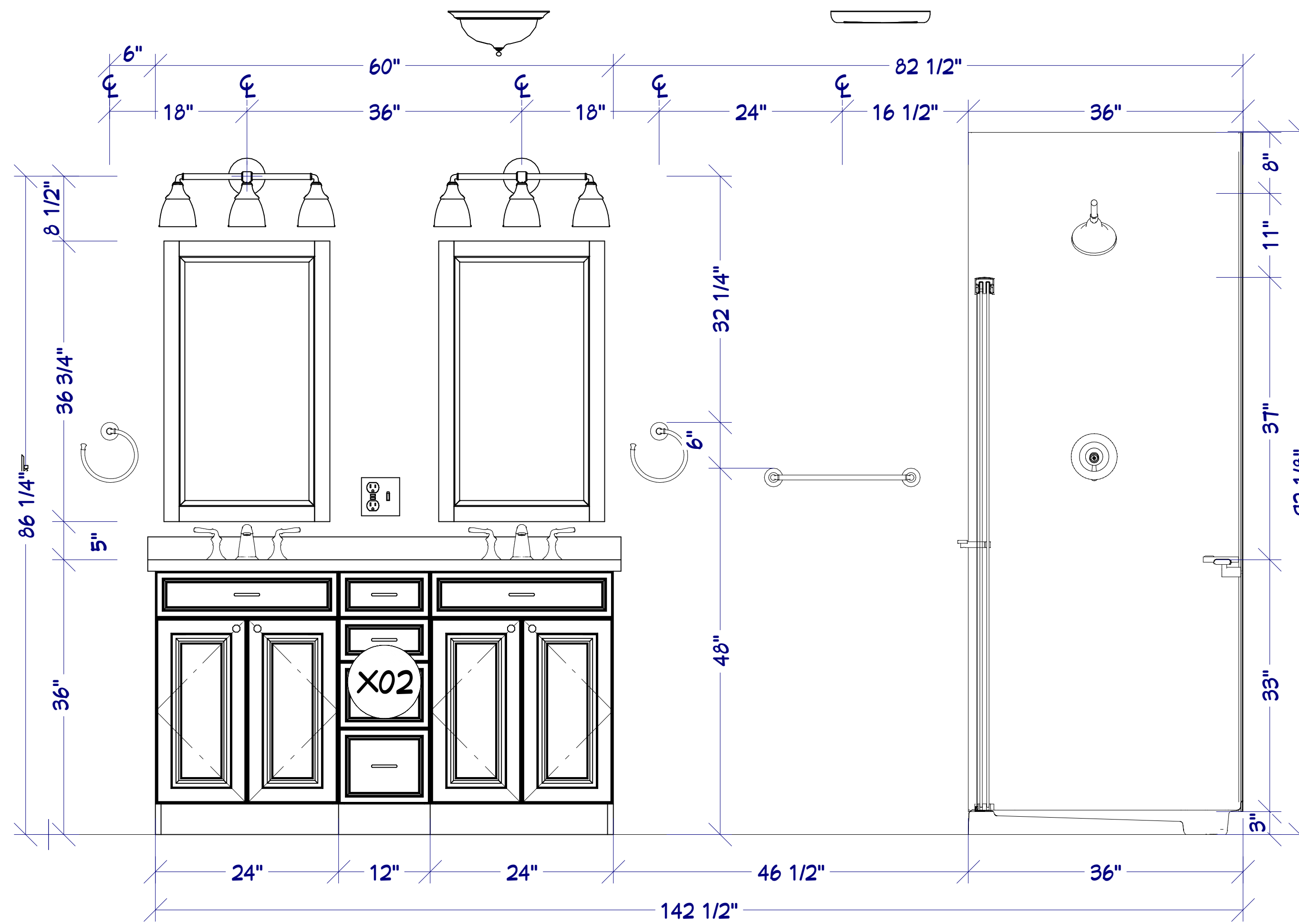
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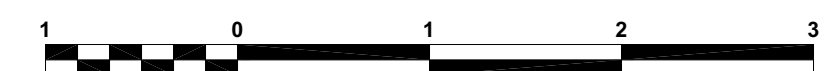
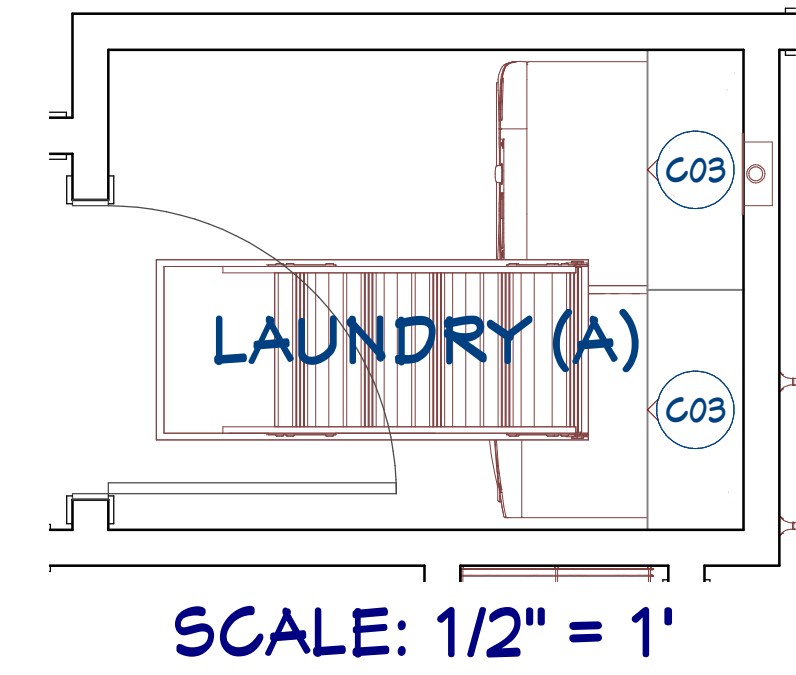
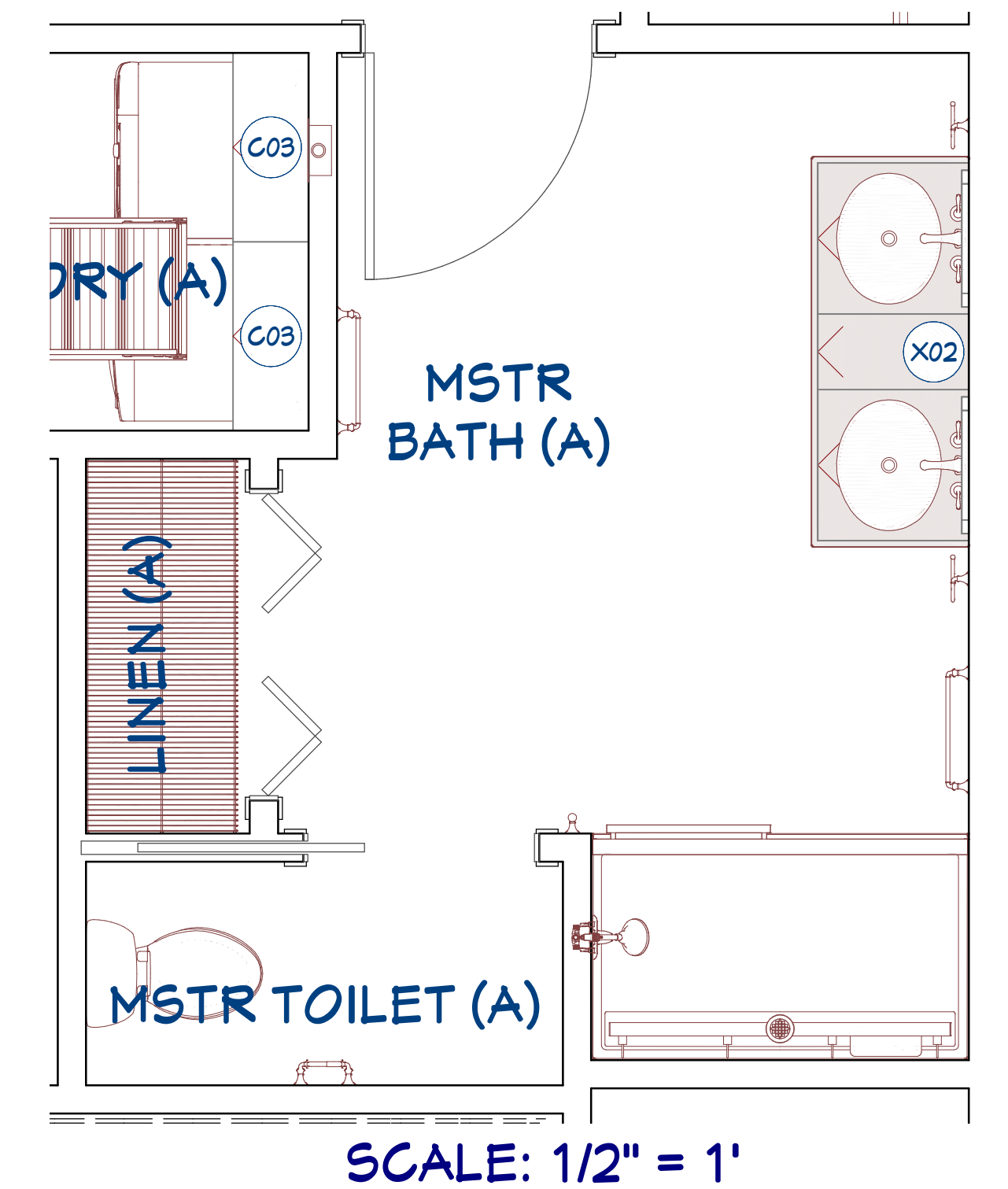
UNIT A BATHROOM 2



UNIT A LAUNDRY ROOM



UNIT A MASTER BATH



REVISION TABLE	
NUMBER	DATE

TITLE: **ARCHITECTURAL
CABINETS - BATH &
LAUNDRY, UNIT A**

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

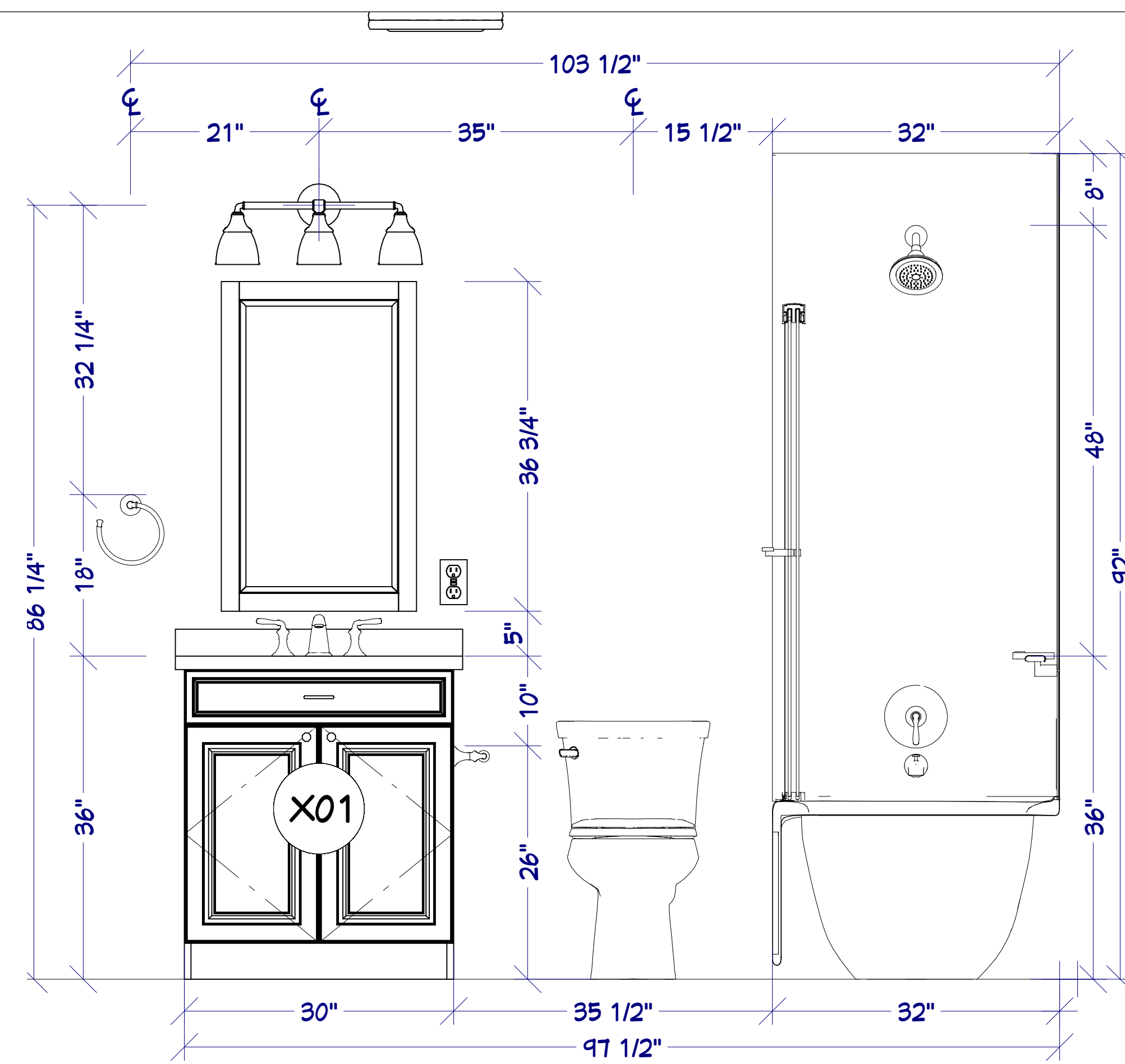
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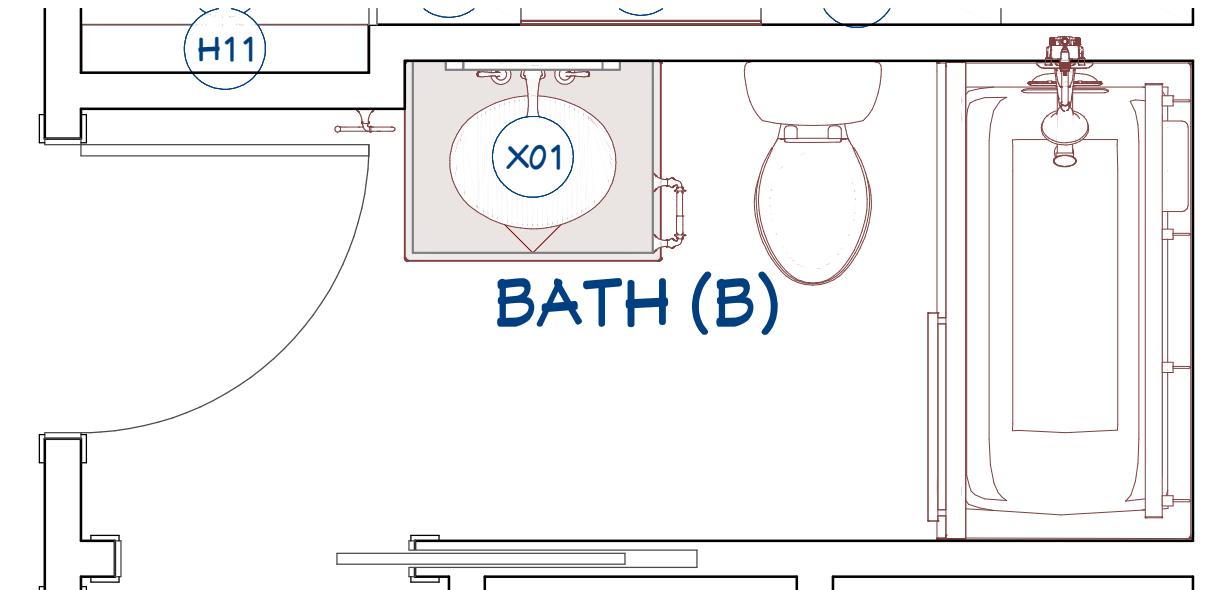
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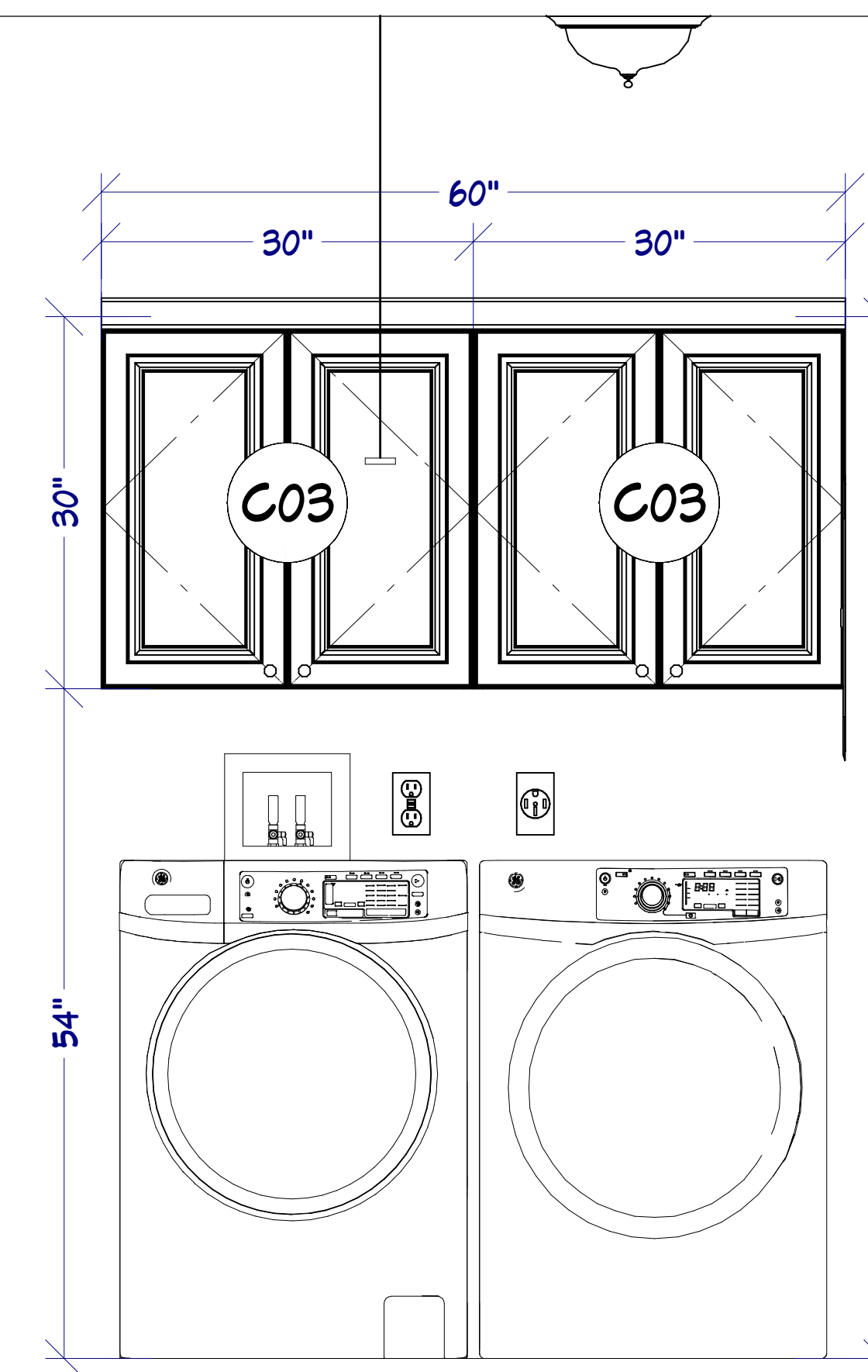
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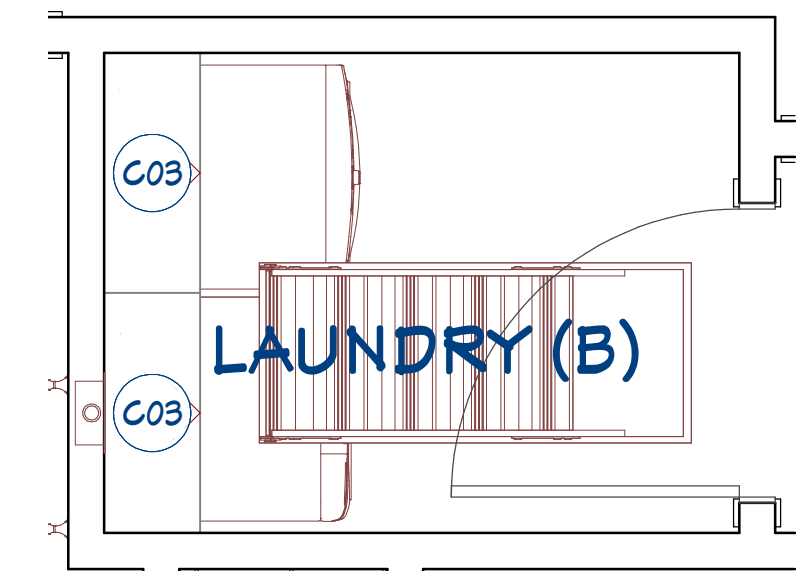
UNIT B BATHROOM 2



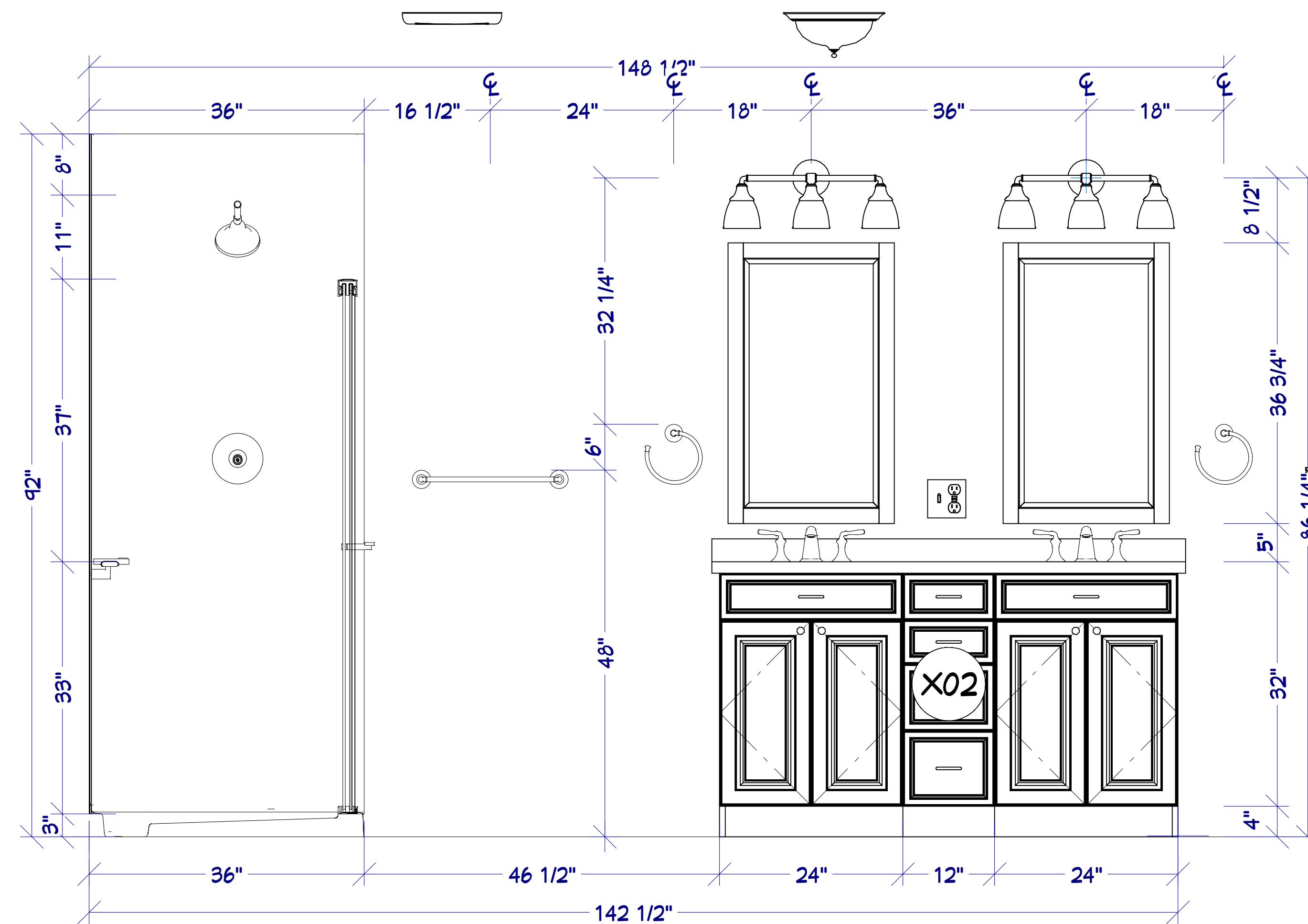
BATH (B)



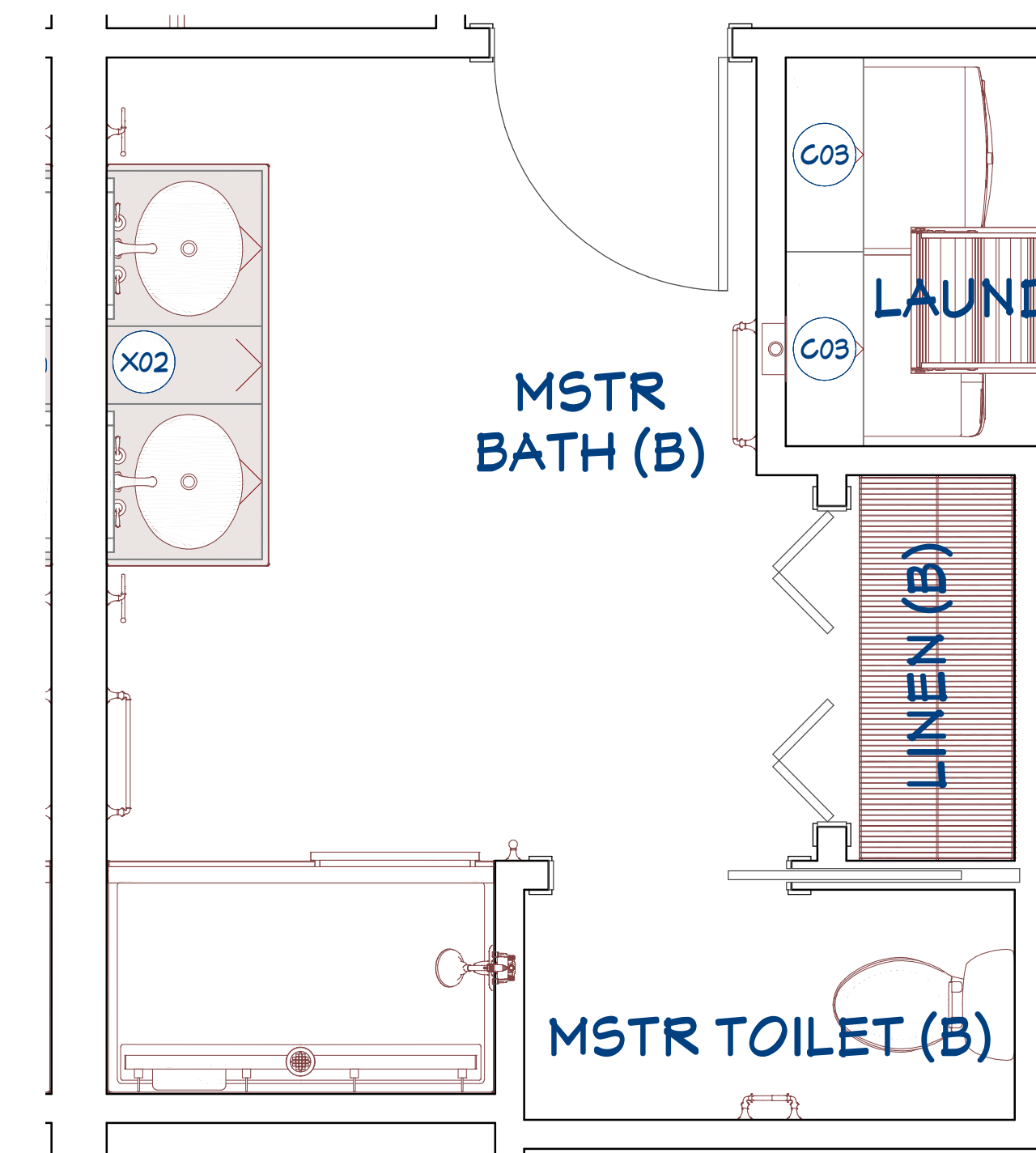
UNIT B LAUNDRY ROOM



LAUNDRY (B)



UNIT B MASTER BATH



MSTR BATH (B)

MSTR TOILET (B)



REVISION TABLE	
NUMBER	DATE

TITLE: ARCHITECTURAL
CABINETS - BATH &
LAUNDRY, UNIT B

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

5/12/2021

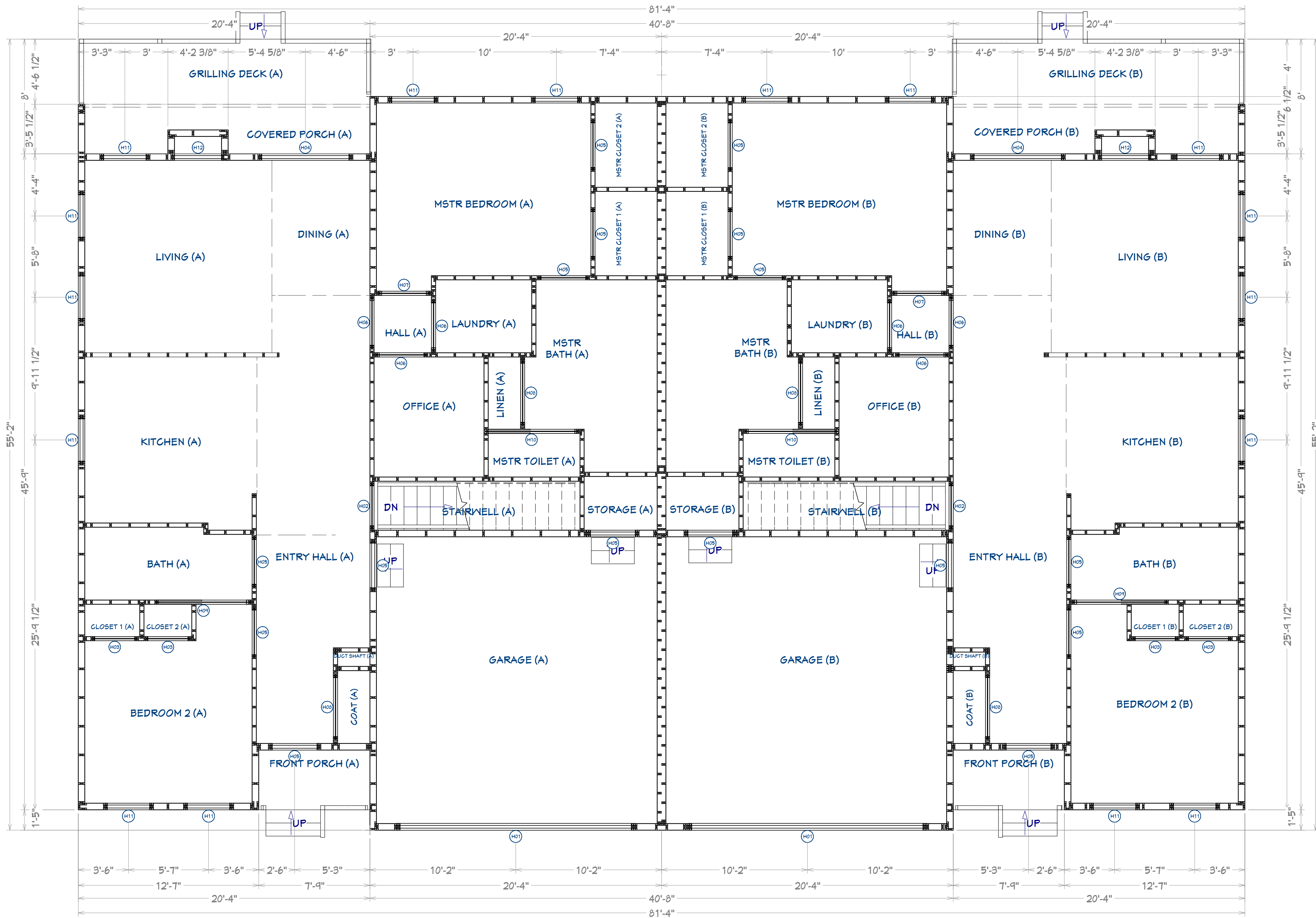
SCALE:

1" = 1'

SHEET:

1.A605





ROTATE 12.0° N
BUILDING 1 BUILDING 2
ROTATE 12.0° N

CARPENTRY NOTES

BLOCKING AND BRIDGING

- STUD WALLS: PER APPLICABLE BUILDING CODE. FULL HEIGHT WALLS SHALL HAVE CONTINUOUS STUDS FROM BOTTOM TO TOP PLATE.
- CEILING JOISTS: PER APPLICABLE BUILDING CODE. USE SOLID BRIDGING.
- BACKING: PROVIDE SOLID BACKING AT ALL PENDANT OR SURFACE - MOUNTED ELECTRICAL FIXTURES, RAILS, GRAB BARS, BATH ACCESSORIES, ETC.

SAWN LUMBER

- ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER.
- ALL WOOD PERMANENTLY EXPOSED TO THE WEATHER, IN CONTACT WITH CONCRETE OR IN CONTACT WITH THE GROUND OR OTHERWISE SPECIFIED SHALL BE PRESSURE TREATED FOR GROUND CONTACT.
- DECK FRAMING SHALL BE PRESSURE TREATED. SUPPORT POSTS TO BE FT 4X4 FOR DECK HEIGHT UP TO 8 FEET ABOVE GRADE. PROVIDE LATERAL BRACING AND/OR INCREASED POST SIZE AT HEIGHTS ABOVE THAT.
- ALL STRUCTURAL WOOD SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION BY A RECOGNIZED INSPECTION AGENCY.

FASTENERS

- FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS.
- HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER.
- ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL.
- ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS OR HOT DIPPED GALVANIZED BOX NAILS.
- FRAMING NAILS SHALL BE PER IRC TABLE R602.3(1).

SHEATHING

- PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRF-108 PERFORMANCE STANDARDS.
- UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS.
- PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS.
- ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
- ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS.
- ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS.
- SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES.
- NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).
- PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
 - ROOF & WALL SHEATHING SHALL BE HUBERWOOD ZIP SYSTEM 1-1/2" R-6.6 INSULATED PANELS.
 - FLOOR SHEATHING SHALL BE 3/4" T&G INT-APA RATED OSB OR PLYWOOD.

PREMANUFACTURED WOOD JOISTS

- PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL.
- PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
- JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS.
- THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER.
- PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.
- PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

ROUGH CARPENTRY

- THE STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.
- BEAMS TO BE TRUS JOIST 20E MICROLAM LVL, OR AN ENGINEER APPROVED EQUAL.
- FIRE STOPPING: PER APPLICABLE BUILDING CODE.
- STUD WALLS: PER APPLICABLE BUILDING CODE. ALL STUDS TO HAVE FULL BEARING ON PLATE. ALL STUDS TO BE AT 16" OC INT / 24" OC EXT UNLESS NOTED OTHERWISE. STUDS TO BE SIZED PER REQUIREMENTS OF CODE.
- PROVIDE BLOCKING WHERE REQUIRED TO PROVIDE UNIFORM SURFACE WHERE FLUSH JOISTS AND BEAMS ARE DIFFERENT DEPTHS.
- USE MITERED JOINTS AT FASCIA SPLICES.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS TO EXTERIOR WALLS ARE GIVEN FROM INSIDE OR OUTSIDE FACE OF ROUGH FRAMING. ALL DIMENSIONS TO INTERIOR PARTITIONS ARE GIVEN FROM FACE OF ROUGH FRAMING.

FLASHING

- SEAL ALL FLASHING PER SHEATHING MANUFACTURER'S RECOMMENDATION USING ZIP SYSTEM FLASHING TAPE OR EQUIVALENT.

INSULATION

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

IRC R103.4 FLASHING

APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA T11. FLUID-APPLIED MEMBRANES USED AS FLASHING IN EXTERIOR WALLS SHALL COMPLY WITH AAMA T14. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:

1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER COMPLYING WITH SECTION 103.2 FOR SUBSEQUENT DRAINAGE. MECHANICALLY ATTACHED FLEXIBLE FLASHINGS SHALL COMPLY WITH AAMA T12. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH ONE OR MORE OF THE FOLLOWING:
 - 1.1. THE FENESTRATION MANUFACTURER'S INSTALLATION AND FLASHING INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE FENESTRATION MANUFACTURER'S INSTRUCTIONS, IN ACCORDANCE WITH THE FLASHING MANUFACTURER'S INSTRUCTIONS. WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, PAN FLASHING SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES.
 - 1.2. IN ACCORDANCE WITH THE FLASHING DESIGN OR METHOD OF A REGISTERED DESIGN PROFESSIONAL.
 - 1.3. IN ACCORDANCE WITH OTHER APPROVED METHODS.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.
7. AT BUILT-IN GUTTERS.

IECC TABLE R402.4.1.1 (IRC N1102.4.1.1) AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC		THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-5 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED. RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING. OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING. OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS. WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE GRAVELSPACE WALLS.
CRACK/SPACE WALLS	EXPOSED EARTH IN UNVENTED CRACK/SPACE WALLS SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
NARROW CAVITIES		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	
PLUMBING AND WIRING		
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	

FRAMING SCHEDULE - HEADERS (H)				
NUMBER	NAME	QTY	NOMINAL	LENGTH
H01	HEADER	4	1 3/4 X 11 7/8	200"
H02	HEADER	4	2X6	37 1/2"
H03	HEADER	8	2X6	37"
H04	HEADER	4	2X10	76 1/2"
H05	HEADER	32	2X6	41"
H06	HEADER	12	2X6	42"
H07	HEADER	4	2X6	43"
H08	HEADER	8	2X6	53"
H09	HEADER	4	2X6	78 1/2"
H10	HEADER	4	2X6	78"
H11	HEADER	32	2X6	39"
H12	HEADER	4	2X6	42 3/8"

INFILTRATION NOTES

ALL OPENINGS IN THE EXTERIOR BUILDING ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- JOINTS AROUND WINDOW AND DOOR FRAMES
- JOINTS BETWEEN WALL CAVITY AND WINDOW/DOOR FRAME
- JOINTS BETWEEN WALL AND FOUNDATION
- JOINTS BETWEEN WALL AND ROOF
- JOINTS BETWEEN WALL PANELS
- UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

REVISION TABLE	
NUMBER	DATE

STRUCTURAL
WALL FRAMING

TITLE:

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751



DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

5/12/2021

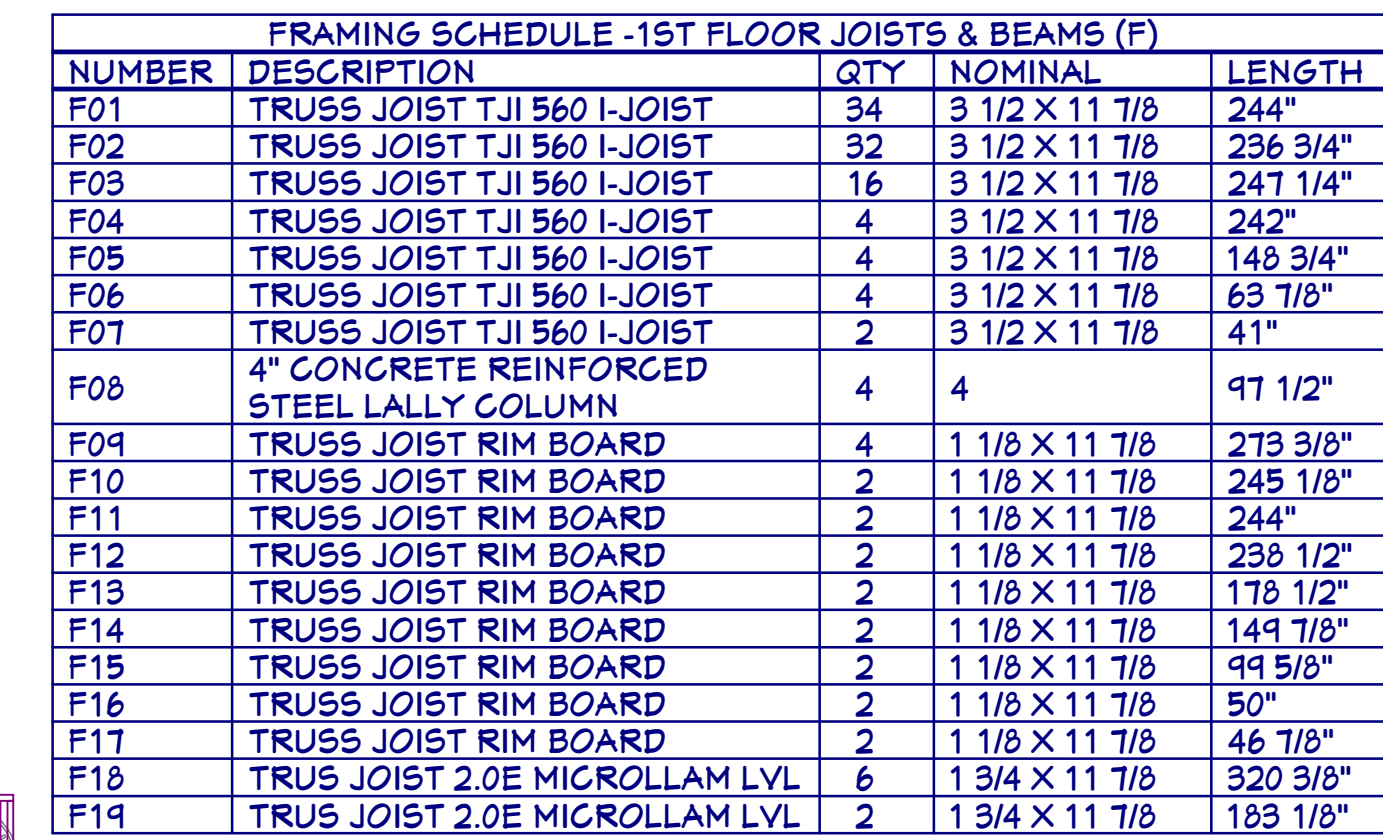
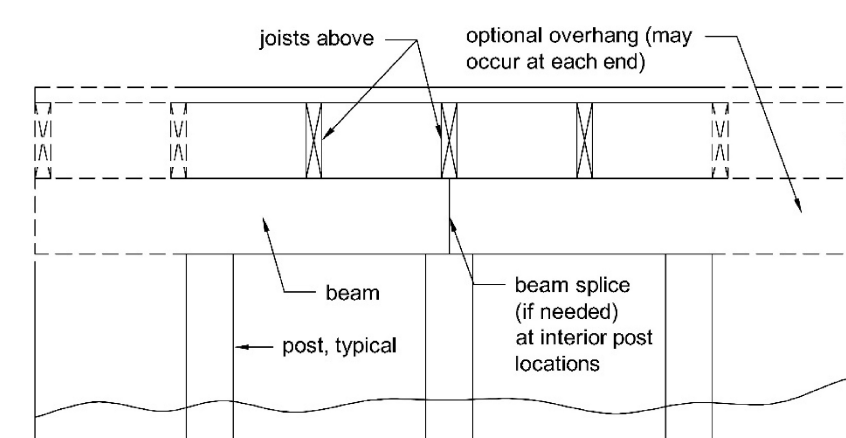
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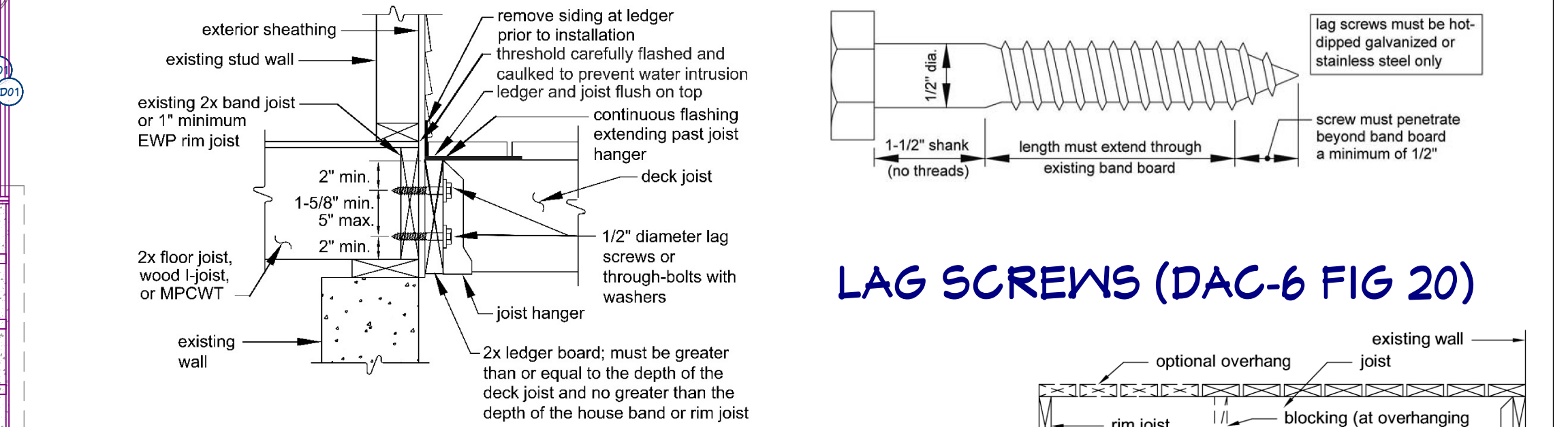
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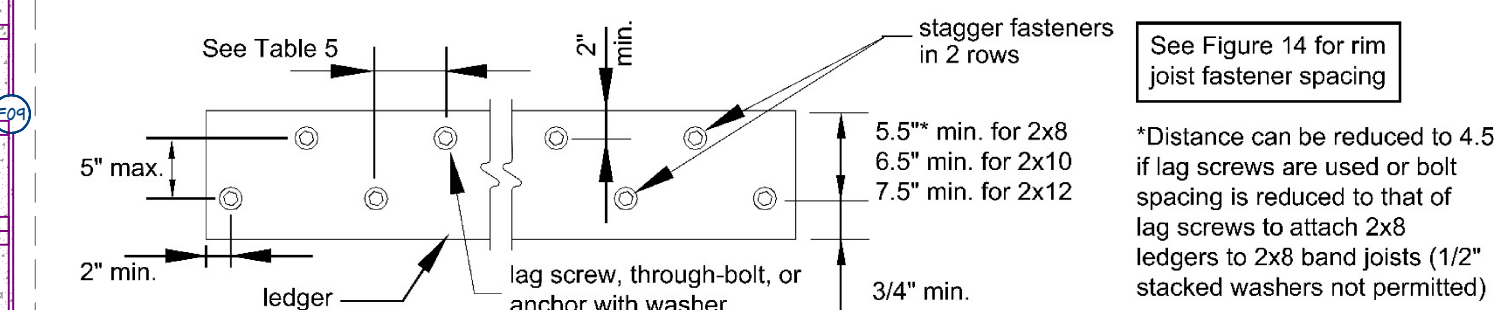


NUMBER	DATE	REVISED BY	DESCRIPTION

BEAM SPLIT (DAC-6 FIG 3)



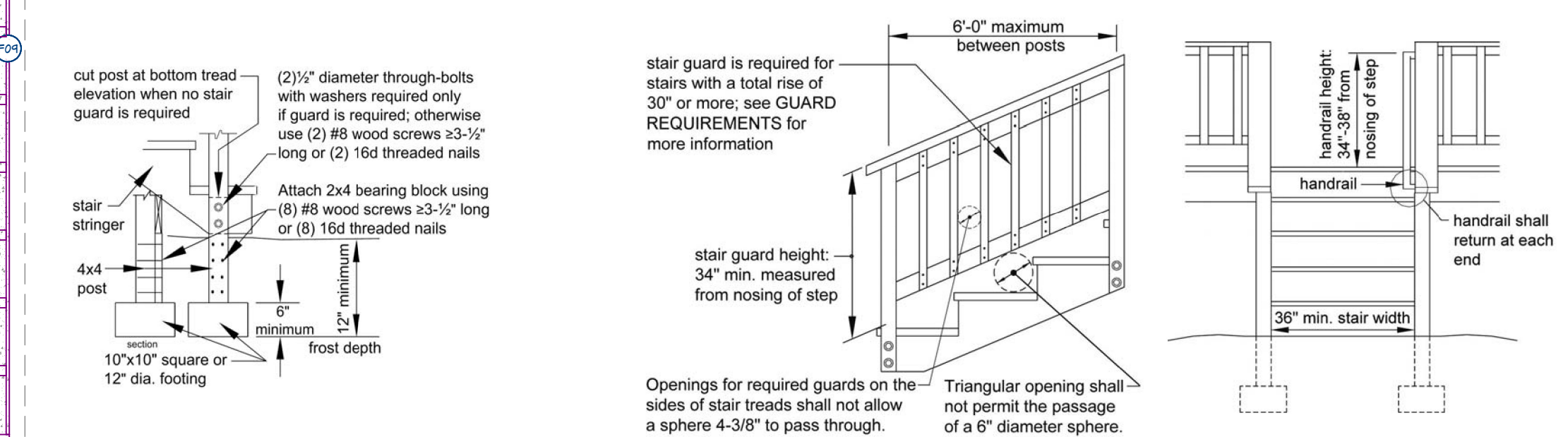
LEDGER BOARD DETAIL (DAC-6 FIG 14)



LEDGER BOARD SPECS (DAC-6 FIG 19)

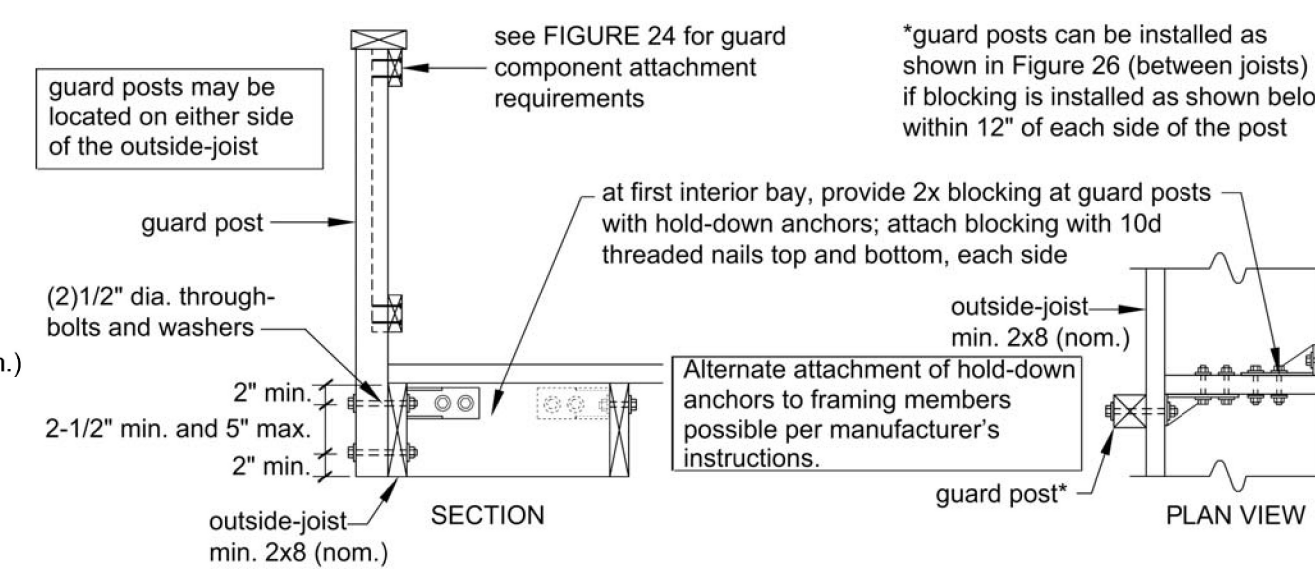
JOIST BLOCKING (DAC-6 FIG 1A)

FRAMING SCHEDULE - DECKING (D)				
NUMBER	DESCRIPTION	QTY	NOMINAL	LENGTH
D01	TREATED FLOOR JOISTS - LUMBER	34	2X8	93"
D02	TREATED FLOOR JOISTS - LUMBER	10	2X8	90"
D03	TREATED FLOOR BEAM - LUMBER	4	2X8	244"
D04	TREATED RIM JOISTS - LUMBER	4	2X8	244"
D05	TREATED RIM JOISTS - LUMBER	4	2X8	50"
D06	DECK PLANKS	28	1 1/8 X 6	39 1/8"
D07	DECK PLANKS	16	1 1/8 X 6	245 3/4"
D08	DECK PLANKS	16	1 1/8 X 6	244"
D09	DECK PLANKS	1	1 1/8 X 6	245 1/4"
D10	DECK PLANKS	1	1 1/8 X 6	244 1/2"
D11	DECK PLANKS	1	1 1/8 X 2 1/8	242 1/2"
D12	DECK PLANKS	4	1 1/8 X 6	87 1/2"
D13	DECK PLANKS	4	1 1/8 X 6	45"
D14	DECK PLANKS	2	1 1/8 X 2	39 1/8"

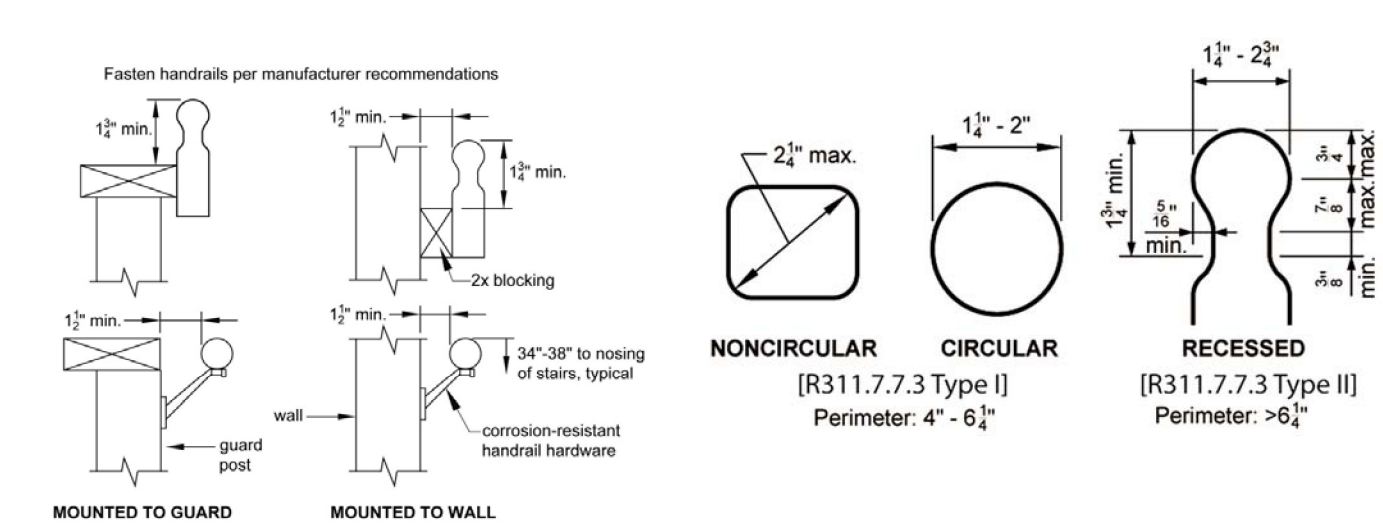


STAIR FOOTINGS (DAC-6 FIG 34)

STAIR RAIL (DAC-6 FIG 30 & 33)

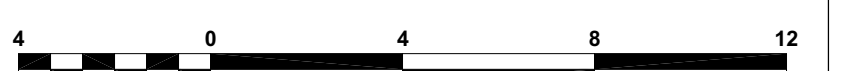


RAIL TO OUTSIDE JOIST (DAC-6 FIG 25)



HANDRAIL REQUIREMENTS (DAC-6 FIG 32A & 32B)

**TREAD CONNECTION
REQUIREMENTS
(DAC-6 FIG 29)**



STRUCTURAL FLOOR & DECK FRAMING

1

BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

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DATE:

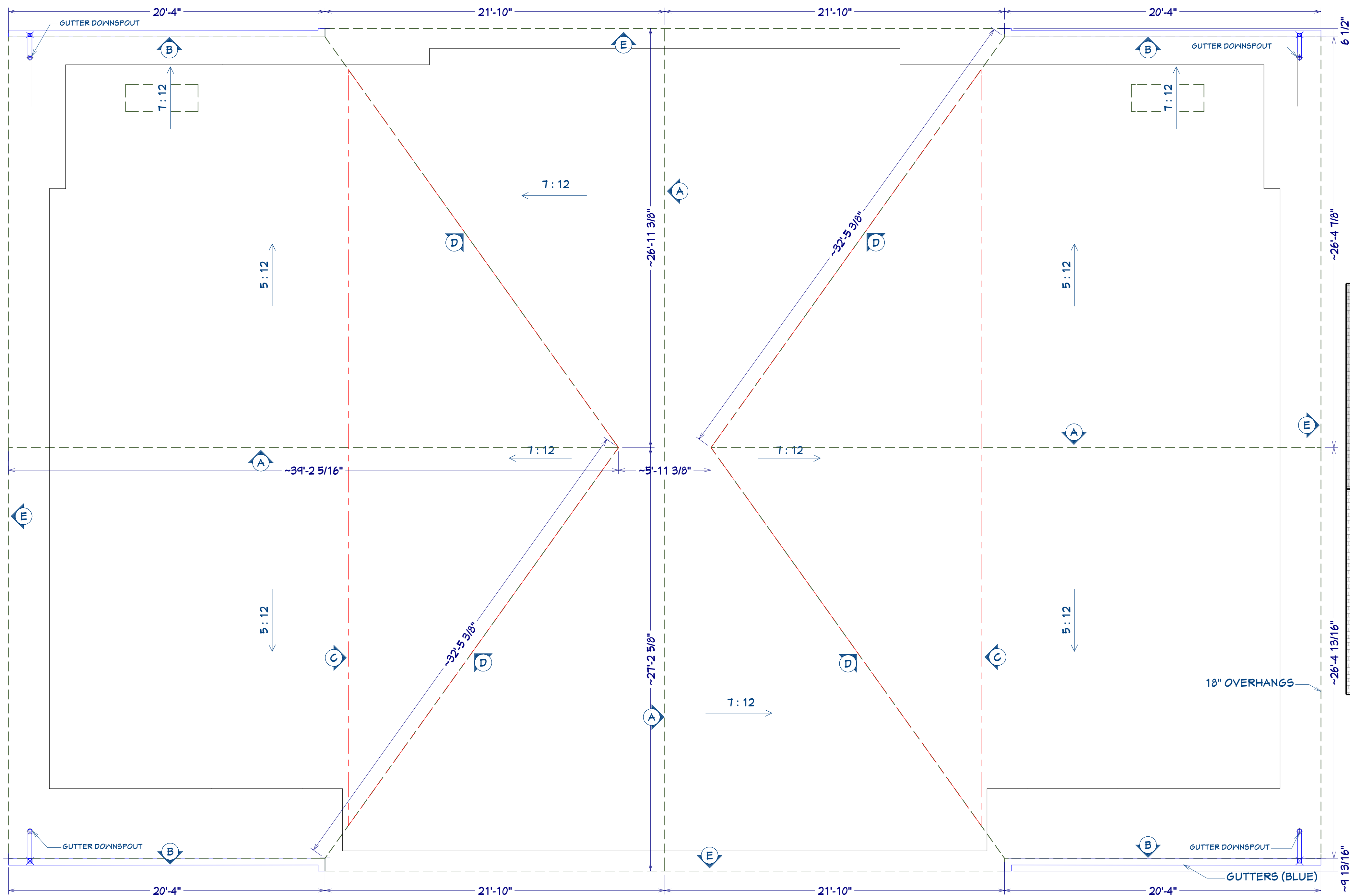
6/12/2021

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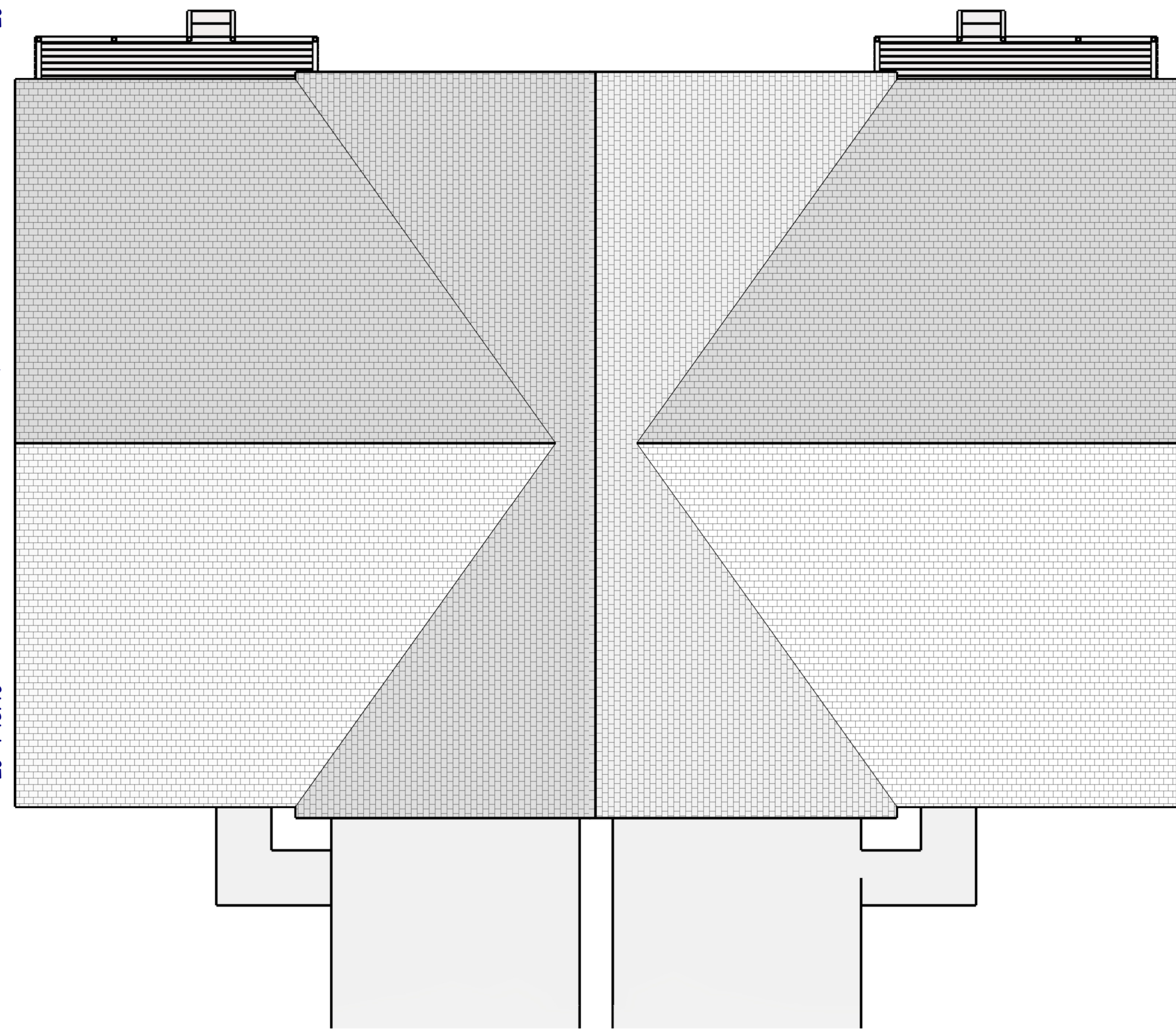
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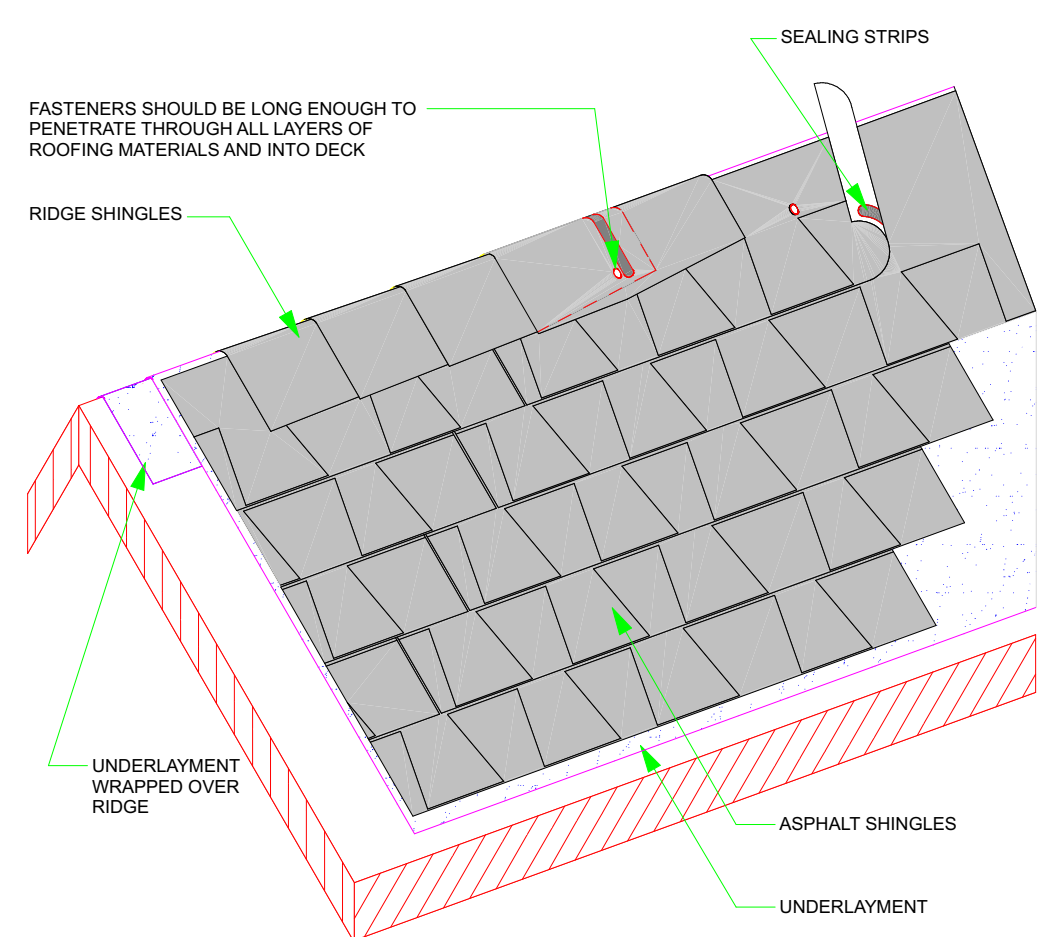


- ROOFING NOTES**
- VENTED ATTIC.
 - TRUSSES SPECIFIED BY MANUFACTURER.
 - TEMPORARY BRACING REQUIRED FOR TRUSSES.
 - ALL OVERHANGS 18".
 - ROOFING TO BE ASPHALT OVER ZIP SYSTEM 1/2" SHEATHING.
 - ICE FLASHING OVER SHEATHING AT EAVES.
 - METAL DRIP EDGE AT ALL EXPOSED ROOF DECKING.
 - BITUMINOUS MEMBRANE AT ALL EAVES, VALLEYS & PENETRATIONS (NOT REQ. IF <20" RAINFALL).
 - STEP FLASHING AT ALL ROOF/WALL INTERSECTIONS & TERMINATED WITH "KICKOUT" FLASHING.
 - INSTALLED SYSTEM FOR DIVERTING ROOF WATER FROM HOUSE. (E.G. GUTTERS).
 - REDUCE ICE DAMS: NO NON-AIRTIGHT RECESSED LIGHT FIXTURES IN INSULATED CEILINGS.
 - PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.
 - ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THEN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

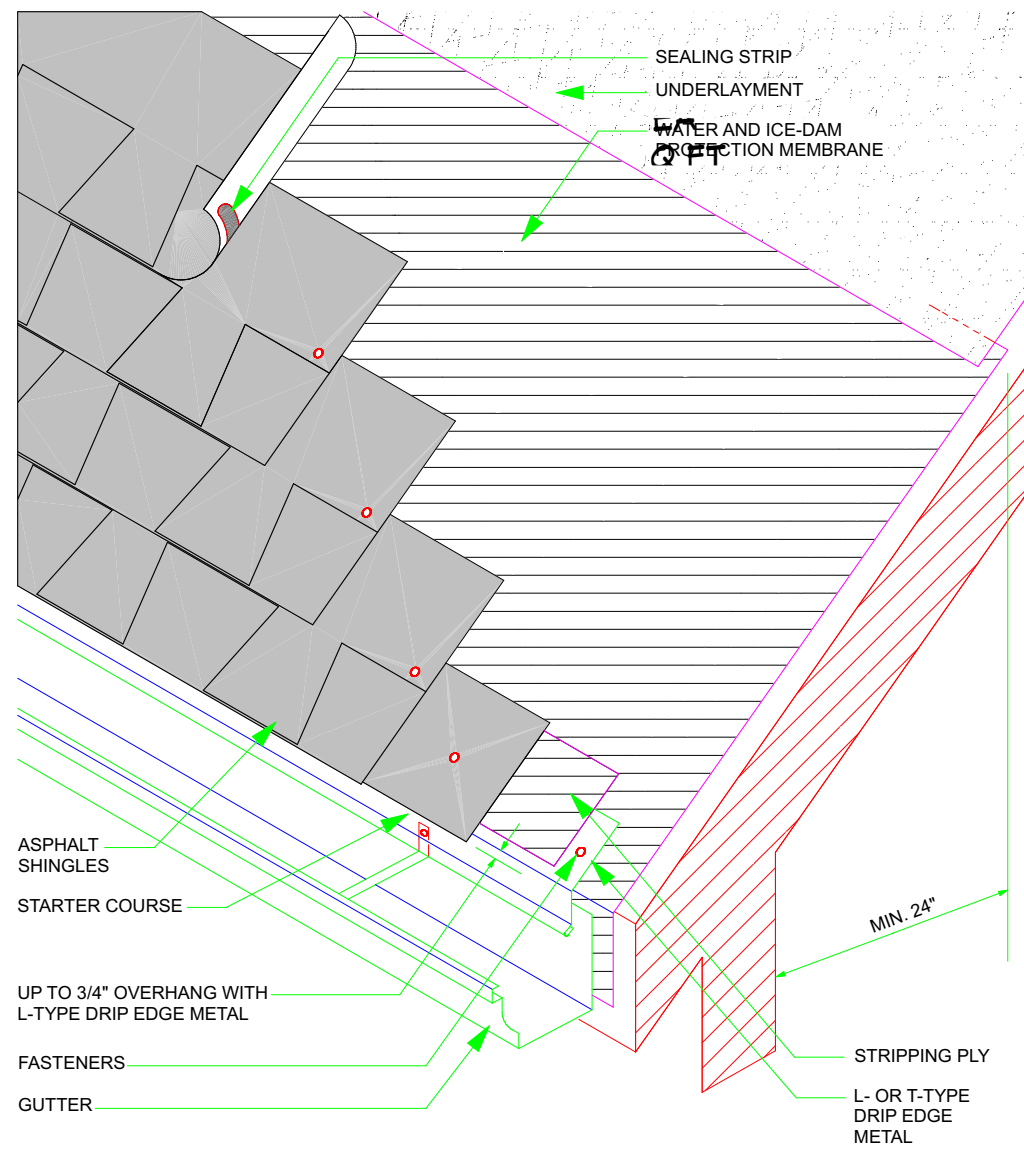
ROTATE 12.0° N
ROTATE 12.0° N
BUILDING 1 BUILDING 2



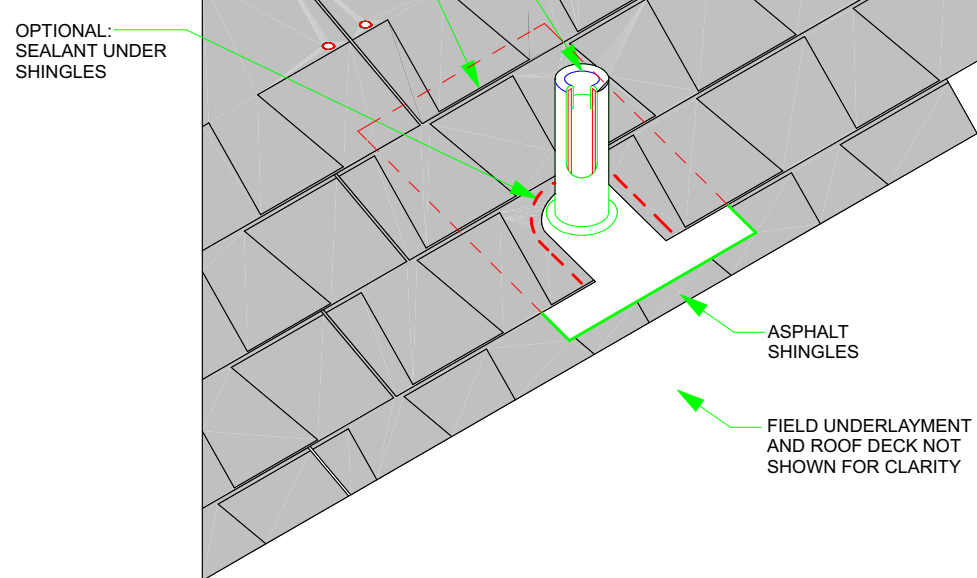
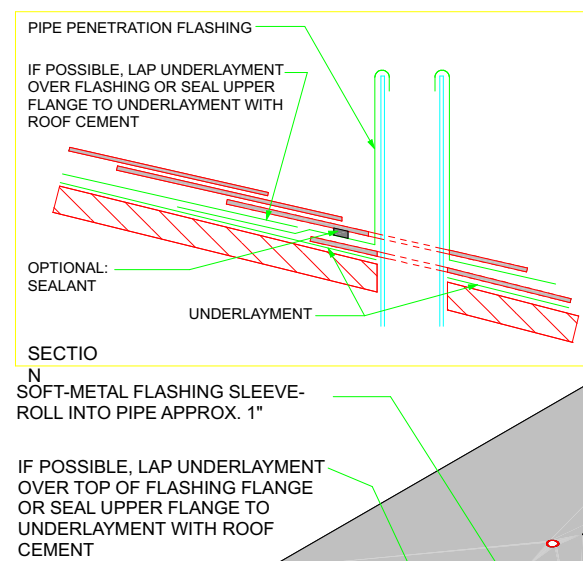
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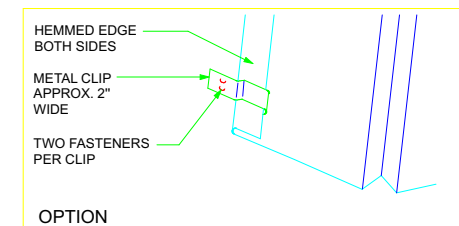
- NOTES
1. MOST MANUFACTURERS SUPPLY SPECIAL RIDGE SHINGLES. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 2. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.



- NOTES
1. THIS DETAIL SHOWS ONE TYPE OF GUTTER SUPPORT. GUTTER SECUREMENT AND SUPPORT OPTIONS VARY. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.



- NOTE
1. REFER TO THE INTRODUCTION OF THE CONSTRUCTION DETAILS CHAPTER FOR ADDITIONAL INFORMATION.



OPTION 1
FIELD UNDERLAMENT AND ROOF DECK NOT SHOWN FOR CLARITY

VALLEY METAL FABRICATED FROM MIN. 24" WIDE SHEET-LAP VALLEY METAL MIN. 8" AND SET IN SEALANT

EXTEND SHINGLES 4" MIN. OVER VALLEY METAL

ASPHALT SHINGLES

TRIM CORNER OF SHINGLES

OPTIONAL SEALANT

FIELD UNDERLAMENT AND ROOF DECK NOT SHOWN FOR CLARITY

ASPHALT SHINGLES

UNDERLAMENT

SEALING STRIP

FASTENERS

T-OR L-TYPE DRIP EDGE METAL

ASPHALT SHINGLES

UNDERLAMENT

SEALING STRIP

FASTENERS

T-OR L-TYPE DRIP EDGE METAL

ASPHALT SHINGLES

UNDERLAMENT

SEALING STRIP

FASTENERS

T-OR L-TYPE DRIP EDGE METAL

ASPHALT SHINGLES

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FASTENERS

T-OR L-TYPE DRIP EDGE METAL

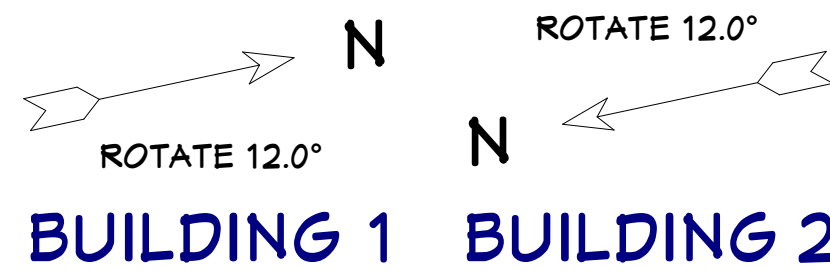
ASPHALT SHINGLES

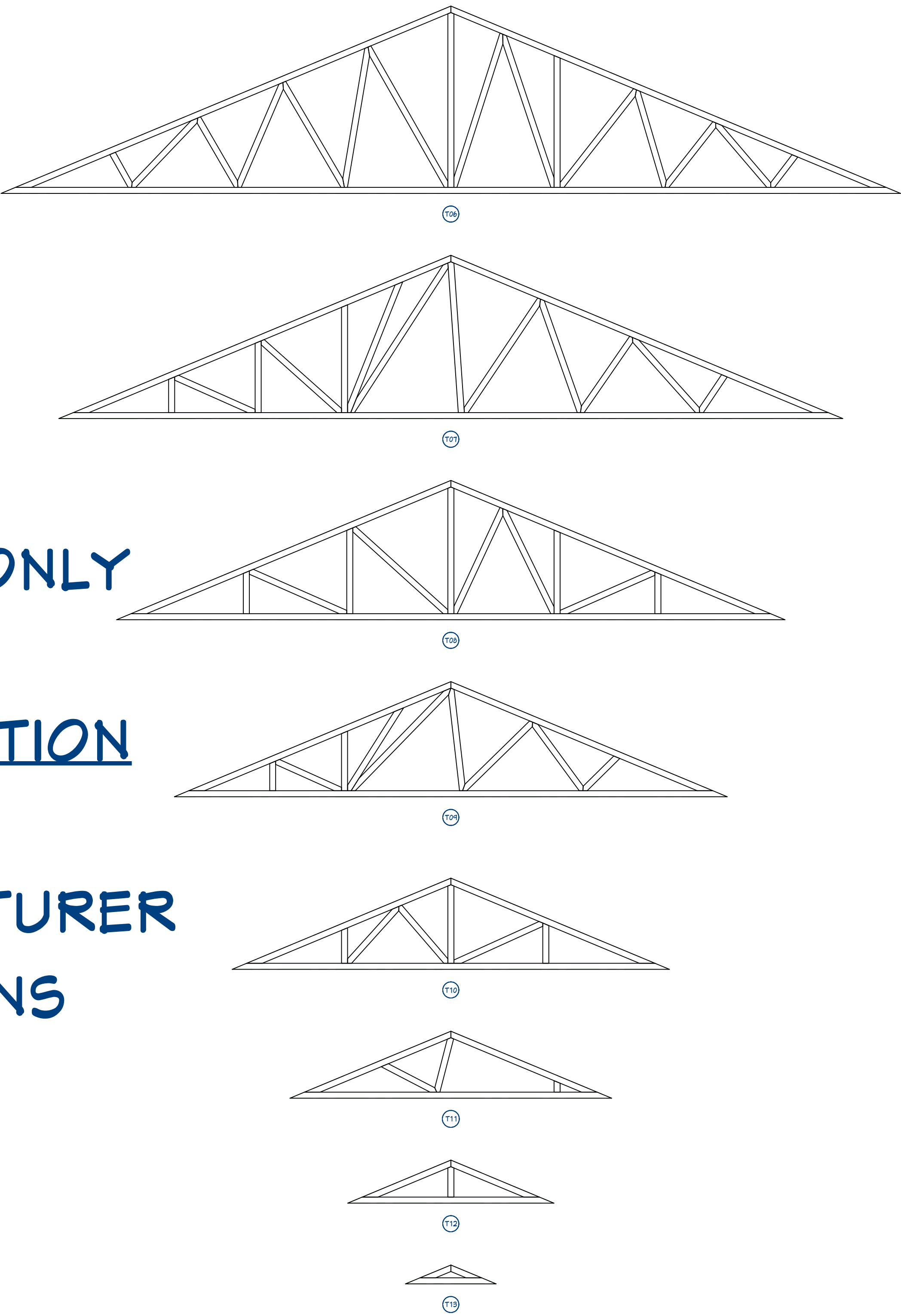
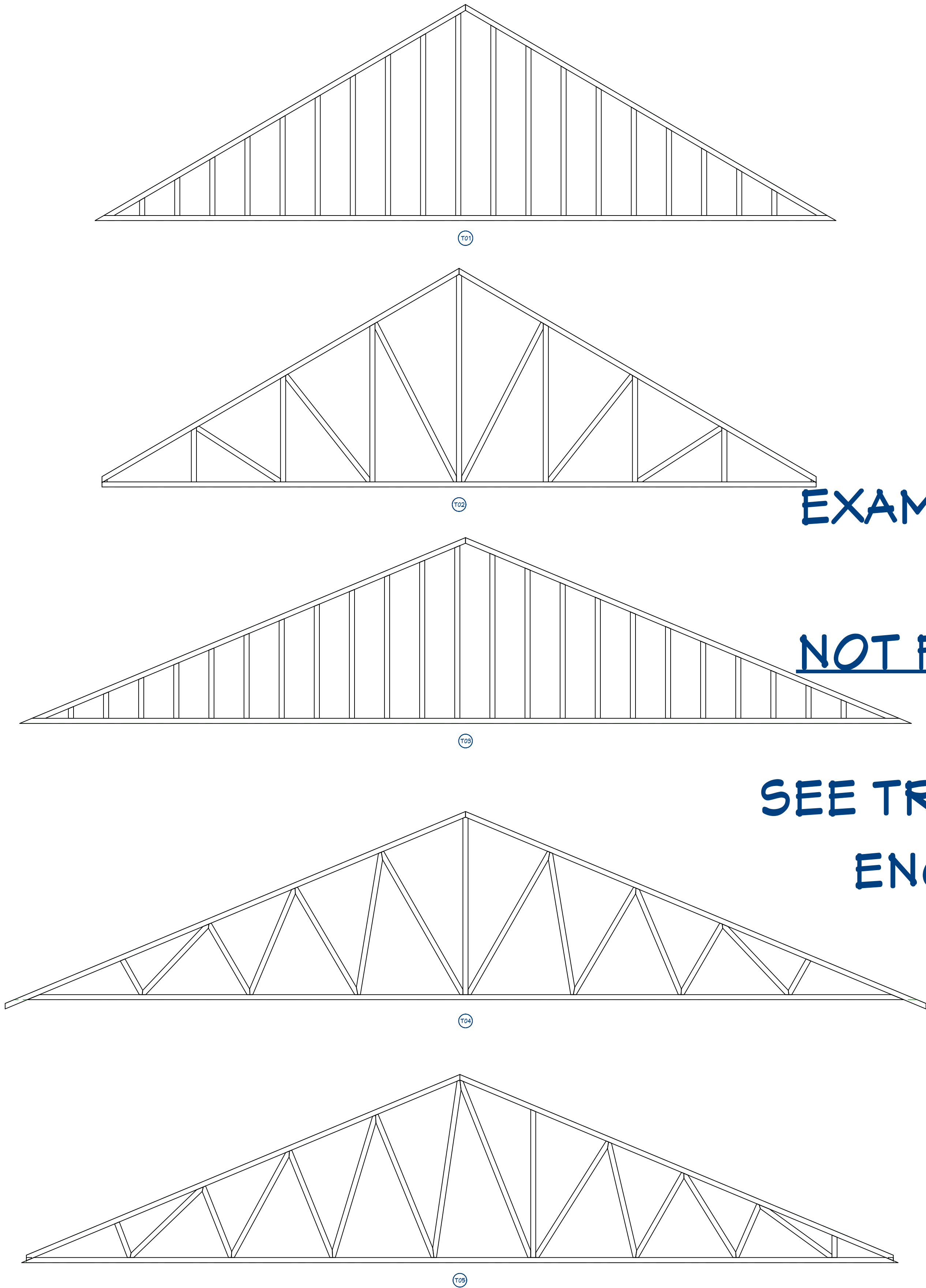
UNDERLAMENT

SEALING STRIP

FASTENERS

T-OR L-TYPE DRIP EDGE METAL



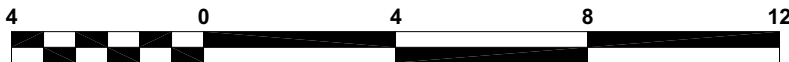


EXAMPLE TRUSSES ONLY

NOT FOR CONSTRUCTION

SEE TRUSS MANUFACTURER
ENGINEERING PLANS

FRAMING SCHEDULE - TRUSSES (T)								
NUMBER	DESCRIPTION	QTY	LENGTH	HEIGHT	BOTTOM	TOP	REDUCED GABLE	KINGPOST
T01	7:12 END TRUSS	2	506 1/4"	147 5/8"	104 1/8"	256 3/4"	Y	Y
T02	7:12 ROOF TRUSS	25	488"	144 3/8"	104 1/8"	259 1/2"	N	Y
T03	5:12 END TRUSS	2	604 3/8"	126 15/16"	104 1/8"	236 1/16"	Y	N
T04	5:12 ROOF TRUSS	18	624 3/16"	128 9/16"	104 1/8"	237 11/16"	N	N
T05	5:12 ROOF TRUSS	2	542 3/8"	128 9/16"	104 1/8"	237 11/16"	N	N
T06	5:12 ROOF TRUSS	2	523 1/8"	104"	128 11/16"	237 11/16"	N	N
T07	5:12 ROOF TRUSS	2	455 15/16"	45"	142 11/16"	237 11/16"	N	N
T08	5:12 ROOF TRUSS	2	388 3/4"	81"	156 11/16"	237 11/16"	N	N
T09	5:12 ROOF TRUSS	2	321 9/16"	67"	170 11/16"	237 11/16"	N	N
T10	5:12 ROOF TRUSS	2	254 3/8"	53"	184 11/16"	237 11/16"	N	N
T11	5:12 ROOF TRUSS	2	187 1/8"	39"	148 11/16"	237 11/16"	N	N
T12	5:12 ROOF TRUSS	2	114 15/16"	25"	212 11/16"	237 11/16"	N	N
T13	5:12 ROOF TRUSS	2	52 3/4"	11"	226 11/16"	237 11/16"	N	N



REVISION TABLE	
NUMBER	DATE

TITLE: **STRUCTURAL
EXAMPLE TRUSSES**

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

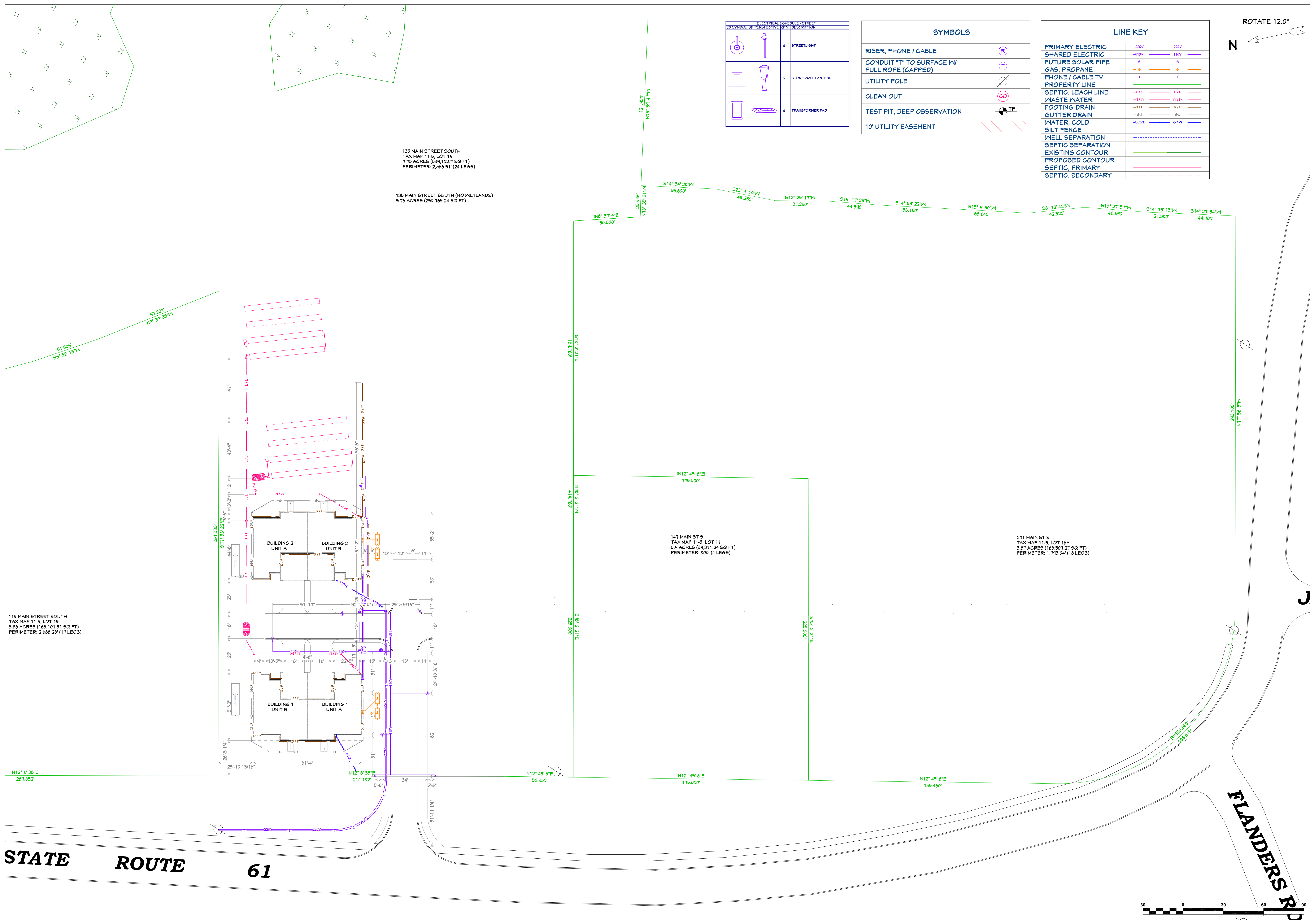
5/12/2021

SCALE:

1/4" = 1'

SHEET:

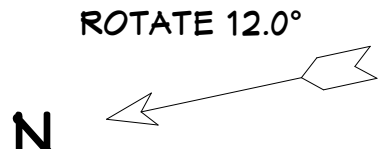
1.5106



ELECTRICAL SCHEDULE - STREET		
NO. SYMBOL	3RD PERSPECTIVE	QTY DESCRIPTION
1		6 STREETLIGHT
2		2 STONE WALL LANTERN
3		6 TRANSFORMER PAD

SYMBOLS	
RISER, PHONE / CABLE	
CONDUIT "IT" TO SURFACE W/ FULL ROPE (CAFFED)	
UTILITY POLE	
CLEAN OUT	
TEST PIT, DEEP OBSERVATION	
10' UTILITY EASEMENT	

LINE KEY	
PRIMARY ELECTRIC	-220V
SHARED ELECTRIC	-110V
FUTURE SOLAR PIPE	-S
GAS, PROPANE	-G
PHONE / CABLE TV	-T
PROPERTY LINE	-L/L
SEPTIC, LEACH LINE	-L/L
WASTE WATER	-W/W
FOOTING DRAIN	-D/P
GUTTER DRAIN	-G/D
WATER, COLD	-C/W
SILT FENCE	-S/F
WELL SEPARATION	-W/S
SEPTIC SEPARATION	-S/S
EXISTING CONTOUR	-E/C
PROPOSED CONTOUR	-P/C
SEPTIC, PRIMARY	-S/P
SEPTIC, SECONDARY	-S/S



REVISION TABLE	
NUMBER	DATE

TITLE:
ELECTRICAL UNDERGROUND SYSTEMS, OVERVIEW

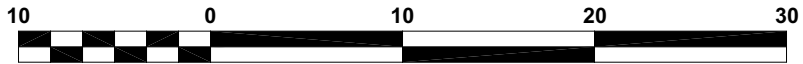
PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

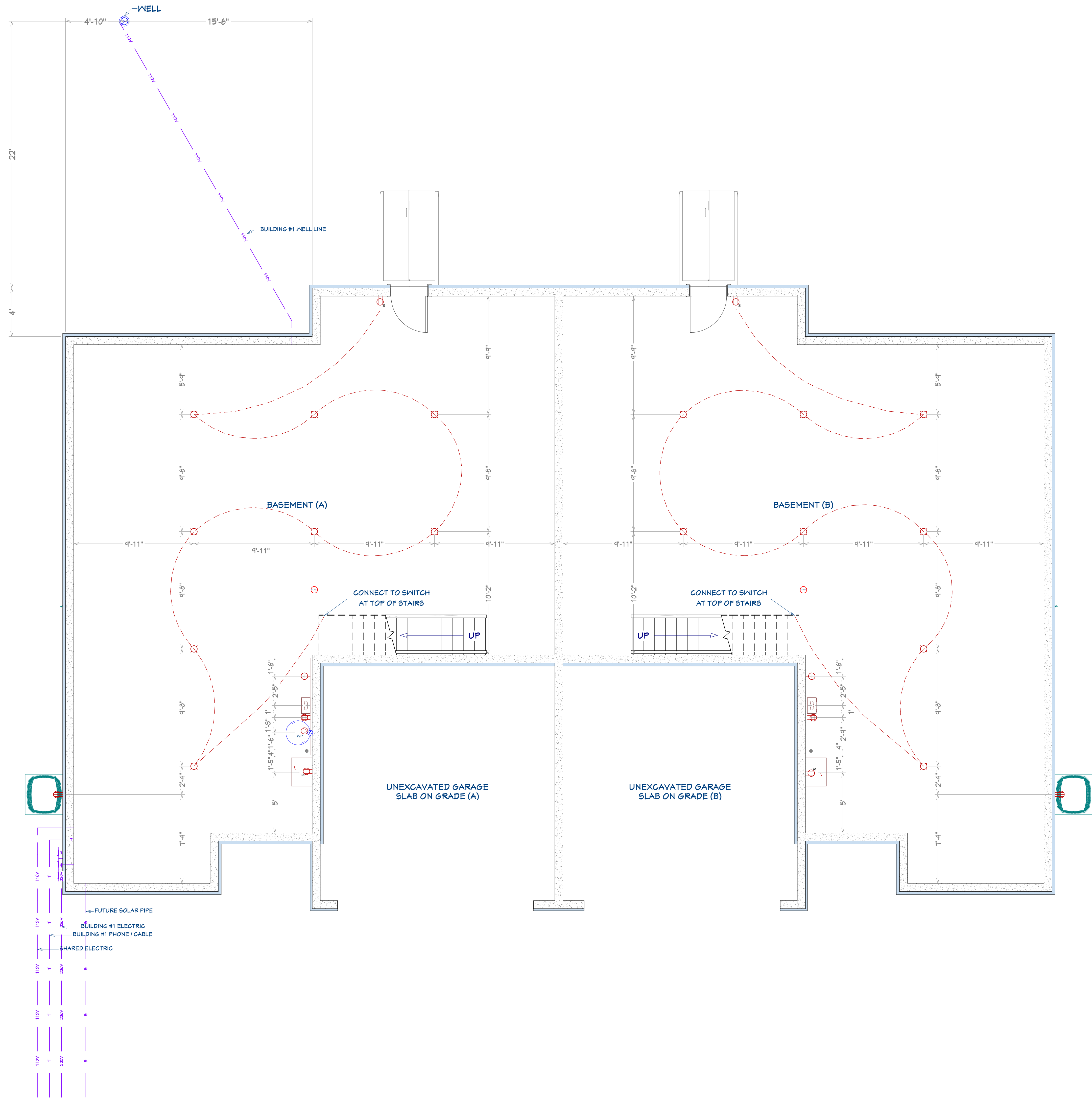
DATE:
5/12/2021

SCALE:
1" = 30'

SHEET:
1.E101

1 E102

ELECTRICAL UNDERGROUND SYSTEMS, DETAIL



IRC R314 SMOKE ALARMS
R314.1 GENERAL & R314.1.1 LISTINGS
SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314. SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.
R314.3 LOCATION
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. IN EACH SLEEPING ROOM.
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3.
R314.4 INTERCONNECTION
WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

IRC R315.1 CARBON MONOXIDE ALARMS
• FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED:
- OUTSIDE OF EACH SLEEPING AREA,
- IN THE IMMEDIATE VICINITY OF THE BEDROOMS,
- AND ON EACH ADDITIONAL HABITABLE LEVEL OF THE DWELLING UNIT.
• WHEN MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE CARBON MONOXIDE ALARM WILL ACTIVATE ALL OF THE CARBON MONOXIDE ALARMS IN THE INDIVIDUAL UNIT.
• THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

ELECTRICAL SCHEDULE - BASEMENT (OVAS = PLUMBING EQUIP)			
SYMBOL	DESCRIPTION	QUANTITY	HEIGHT
	GAS TANKLESS WATER HEATER	2	
	GAS FURNACE HVAC COIL	2	
	OUTDOOR COMPRESSOR UNIT	2	
	WELL PRESSURE TANK / PUMP SWITCH	1	

ELECTRICAL SCHEDULE - BASEMENT			
SYMBOL	DESCRIPTION	QUANTITY	HEIGHT
	BARE BULB	16	0"
	CO/SD HALL GAS SMOKE DETECTOR	2	0"
	LIGHT SWITCH W/ DUPLEX	2	48"
	FURNACE SWITCH & OUTLET	2	48"
	HOT WATER HEATER & DOORBELL QUAD/R DUPLEX	2	48"
	OUTDOOR AC COMPRESSOR HARDWIRED	2	102"
	WELL PUMP SWITCH	1	24"
	200 AMP BYPASS ELECTRIC METER SOCKET WITH DISCONNECT DEVICE COMBO	2	
	200 AMP BYPASS ELECTRIC METER SOCKET WITH LOAD CENTER COMBO	1	
	PHONE / CABLE TV / CAT5 NETWORK JUNCTION BOX LOCATION	2	48"



REVISION TABLE	
NUMBER	DATE
1	5/10/2021
DESCRIPTION	
ADD EXT FOUND INSUL	

TITLE:
**ELECTRICAL
BASEMENT, BUILDING 1**

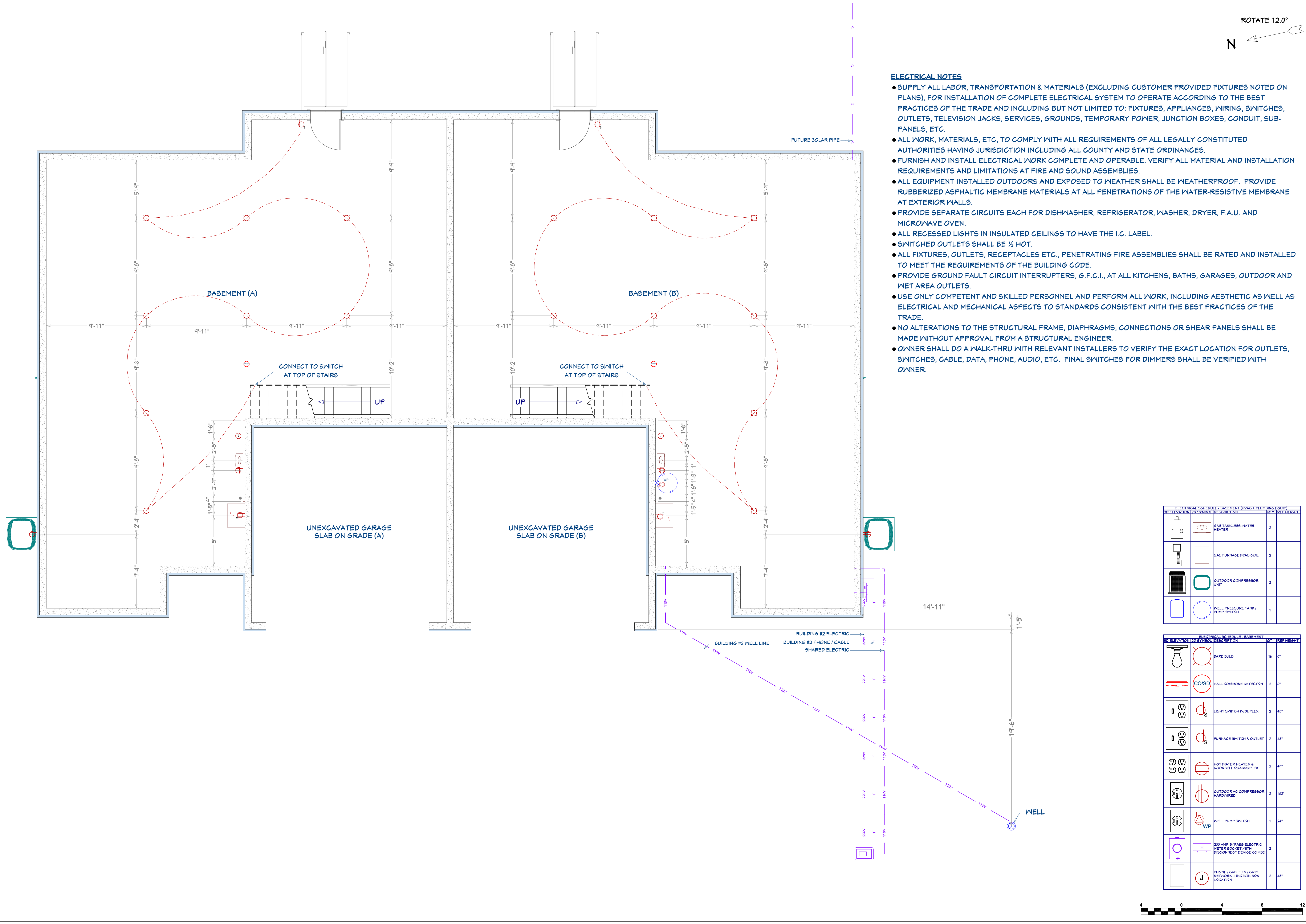
PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:
5/12/2021

SCALE:
1/4" = 1'

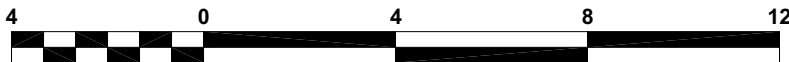
SHEET:
1.E104



- ELECTRICAL NOTES**
- SUPPLY ALL LABOR, TRANSPORTATION & MATERIALS (EXCLUDING CUSTOMER PROVIDED FIXTURES NOTED ON PLANS), FOR INSTALLATION OF COMPLETE ELECTRICAL SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING BUT NOT LIMITED TO: FIXTURES, APPLIANCES, WIRING, SWITCHES, OUTLETS, TELEVISION JACKS, SERVICES, GROUNDS, TEMPORARY POWER, JUNCTION BOXES, CONDUIT, SUB-PANELS, ETC.
 - ALL WORK, MATERIALS, ETC. TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES.
 - FURNISH AND INSTALL ELECTRICAL WORK COMPLETE AND OPERABLE. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES.
 - ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHERPROOF. PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER-RESISTIVE MEMBRANE AT EXTERIOR WALLS.
 - PROVIDE SEPARATE CIRCUITS EACH FOR DISHWASHER, REFRIGERATOR, WASHER, DRYER, F.A.U. AND MICROWAVE OVEN.
 - ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.
 - SWITCHED OUTLETS SHALL BE ½ HOT.
 - ALL FIXTURES, OUTLETS, RECEPTACLES ETC., PENETRATING FIRE ASSEMBLIES SHALL BE RATED AND INSTALLED TO MEET THE REQUIREMENTS OF THE BUILDING CODE.
 - PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS, G.F.C.I., AT ALL KITCHENS, BATHS, GARAGES, OUTDOOR AND WET AREA OUTLETS.
 - USE ONLY COMPETENT AND SKILLED PERSONNEL AND PERFORM ALL WORK, INCLUDING AESTHETIC AS WELL AS ELECTRICAL AND MECHANICAL ASPECTS TO STANDARDS CONSISTENT WITH THE BEST PRACTICES OF THE TRADE.
 - NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT APPROVAL FROM A STRUCTURAL ENGINEER.
 - OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC. FINAL SWITCHES FOR DIMMERS SHALL BE VERIFIED WITH OWNER.

ELECTRICAL SCHEDULE - BASEMENT (WAS 2 PLUMBING EQUIP)			
SIP ELEVATION	QTY	DESCRIPTION	REF. HEIGHT
	2	GAS TANKLESS WATER HEATER	
	2	GAS FURNACE HVAC COIL	
	2	OUTDOOR COMPRESSOR UNIT	
	1	WELL PRESSURE TANK / PUMP SWITCH	

ELECTRICAL SCHEDULE - BASEMENT			
SIP ELEVATION	QTY	DESCRIPTION	REF. HEIGHT
	16	BARE BULB	0"
	2	HALL CO/SMOKE DETECTOR	0"
	2	LIGHT SWITCH W/DOUPLEX	48"
	2	FURNACE SWITCH & OUTLET	48"
	2	HOT WATER HEATER & DOORBELL QUADRUPLX	48"
	2	OUTDOOR AC COMPRESSOR HARDWIRED	102"
	1	WELL PUMP SWITCH	24"
	2	200 AMP BYPASS ELECTRIC METER SOCKET WITH DISCONNECT DEVICE COMBO	
	2	PHONE / CABLE TV / CAT5 NETWORK JUNCTION BOX LOCATION	48"



REVISION TABLE		
NUMBER	DATE	DESCRIPTION
1	5/10/2021	ADD EXT FOUND INSUL

TITLE:
**ELECTRICAL
BASEMENT, BUILDING 2**

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

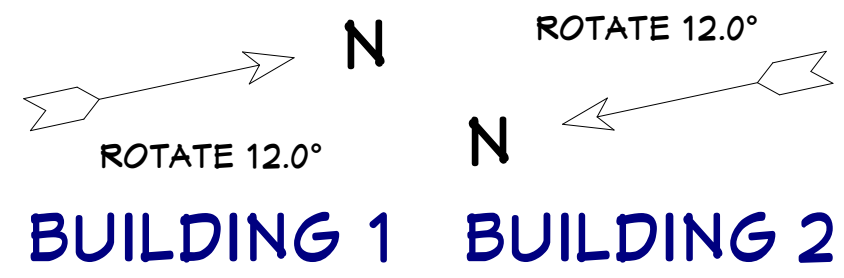
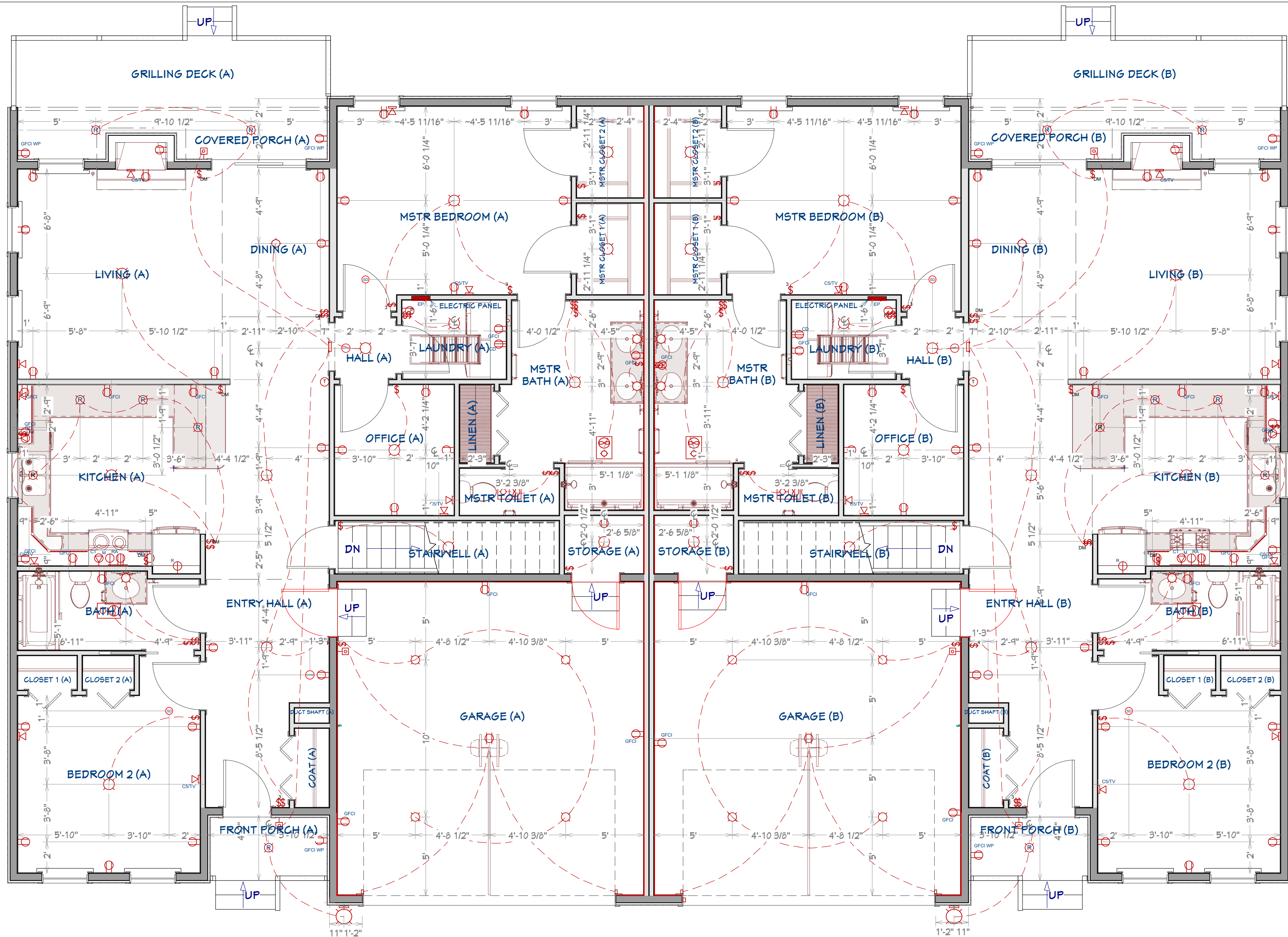
5/12/2021

SCALE:

1/4" = 1'

SHEET:

1.E105



ELECTRICAL NOTES

- SUPPLY ALL LABOR, TRANSPORTATION & MATERIALS (EXCLUDING CUSTOMER PROVIDED FIXTURES NOTED ON PLANS), FOR INSTALLATION OF COMPLETE ELECTRICAL SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING BUT NOT LIMITED TO: FIXTURES, APPLIANCES, WIRING, SWITCHES, OUTLETS, TELEVISION JACKS, SERVICES, GROUNDS, TEMPORARY POWER, JUNCTION BOXES, CONDUIT, SUB-PANELS, ETC.
- ALL WORK, MATERIALS, ETC., TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES.
- FURNISH AND INSTALL ELECTRICAL WORK COMPLETE AND OPERABLE. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES.
- ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHERPROOF. PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER-RESISTIVE MEMBRANE AT EXTERIOR WALLS.
- PROVIDE SEPARATE CIRCUITS EACH FOR DISHWASHER, REFRIGERATOR, WASHER, DRYER, F.A.U. AND MICROWAVE OVEN.
- ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.
- SWITCHED OUTLETS SHALL BE ½ HOT.
- ALL FIXTURES, OUTLETS, RECEPTACLES ETC., PENETRATING FIRE ASSEMBLIES SHALL BE RATED AND INSTALLED TO MEET THE REQUIREMENTS OF THE BUILDING CODE.
- PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS, G.F.C.I., AT ALL KITCHENS, BATHS, GARAGES, OUTDOOR AND WET AREA OUTLETS.
- USE ONLY COMPETENT AND SKILLED PERSONNEL AND PERFORM ALL WORK, INCLUDING AESTHETIC AS WELL AS ELECTRICAL AND MECHANICAL ASPECTS TO STANDARDS CONSISTENT WITH THE BEST PRACTICES OF THE TRADE.
- NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT APPROVAL FROM A STRUCTURAL ENGINEER.
- OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC. FINAL SWITCHES FOR DIMMERS SHALL BE VERIFIED WITH OWNER.

CUSTOMER SUPPLIED ELECTRICAL FIXTURES

SYMBOL	DESCRIPTION	QTY	REF	HEIGHT
	F9525-01 FLUSH DOME	20	0"	
	6" RECESSED DOWN LIGHT	14	0"	
	K-10512-BN DEVONSHIRE TRIPLE WALL SCNCE	6	34 7/8"	
	F4110-01 CHANDELIER	2	0"	
	F5625-20 DISTRICT WALL LANTERN	2	72"	
	AER300PH EXHAUST FAN & LIGHT	4	0"	
	GT140LE EXHAUST FAN & LIGHT	2	0"	
	LIGHTED DOORBELL BUTTON	4	48"	
	DOORBELL CHIME	2	16"	
	GARAGE DOOR SUPPLIED OPENER	2		
	GARAGE DOOR SUPPLIED TRIP SENSOR	4		
	GARAGE DOOR SUPPLIED BUTTON	2	60"	
	GARAGE DOOR SUPPLIED WIRELESS KEYPAD	1	48"	
	HVAC SUPPLIED THERMOSTAT	2	60"	

IRC R314 SMOKE ALARMS

R314.1 GENERAL & R314.1.1 LISTINGS

SMOKE ALARMS SHALL COMPLY WITH NFPA T2 AND SECTION R314. SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.

R314.3 LOCATION

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. IN EACH SLEEPING ROOM.
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3.

R314.4 INTERCONNECTION

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

IRC R315.1 CARBON MONOXIDE ALARMS

- FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED:
 - OUTSIDE OF EACH SLEEPING AREA,
 - IN THE IMMEDIATE VICINITY OF THE BEDROOMS,
 - AND ON EACH ADDITIONAL HABITABLE LEVEL OF THE DWELLING UNIT.
- WHEN MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE CARBON MONOXIDE ALARM WILL ACTIVATE ALL OF THE CARBON MONOXIDE ALARMS IN THE INDIVIDUAL UNIT.
- THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

SYMBOL	DESCRIPTION	QTY	REF	HEIGHT
	SINGLE POLE SWITCH	24	48"	
	THREE WAY SWITCH	8	48"	
	FOUR WAY SWITCH	2	48"	
	SINGLE POLE SLIDING DIMMER	6	48"	
	KITCHEN COUNTER DIMMER SWITCHES	4	48"	
	KITCHEN GARBAGE DISPOSAL / DISHWASHER SWITCH	2	48"	
	BATH EXHAUST FANLIGHT DOUBLE SWITCH	6	48"	
	MASTER BATH COUNTER SWITCH	2	48"	
	ATTIC PILOT LIGHT SWITCH	2	48"	

SYMBOL	DESCRIPTION	QTY	REF	HEIGHT
	ELECTRICAL PANEL	2	60"	
	BEDROOM SMOKE DETECTOR	4	0"	
	HALL CO/SD	4	0"	
	TELEPHONE JACK	8	16"	
	KITCHEN COUNTER TELEPHONE JACK	2	48"	
	CATS IN TV	6	16"	
	KITCHEN COUNTER CAT5 IN TV	2	48"	
	FIREPLACE CAT5 IN TV	2	66"	
	UNDER-CABINET LIGHT STRIP	10	34"	
	GARAGE BARE BULB	8	0"	

SYMBOL	DESCRIPTION	QTY	REF	HEIGHT
	DUPLEX OUTLET	52	16"	
	KITCHEN, BATH & LAUNDRY GFCI OUTLET	20	48"	
	GARAGE GFCI OUTLET	6	16"	
	OUTDOOR GFCI OUTLET	6	16"	
	CLOTHES DRYER 220V OUTLET	2	48"	
	ELECTRIC RANGE 220V OUTLET	2	16"	
	GAS RANGE 110V OUTLET	2	16"	
	DISHWASHER OUTLET, HXN	2	3"	
	MICROWAVE OUTLET	2	72"	
	REFRIGERATOR OUTLET	2	16"	
	GARAGE DOOR OPENER CEILING OUTLET	2	0"	
	FIREPLACE TV OUTLET	2	66"	



REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

TITLE: **ELECTRICAL**
1ST FLOOR, BUILDINGS 1 & 2

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

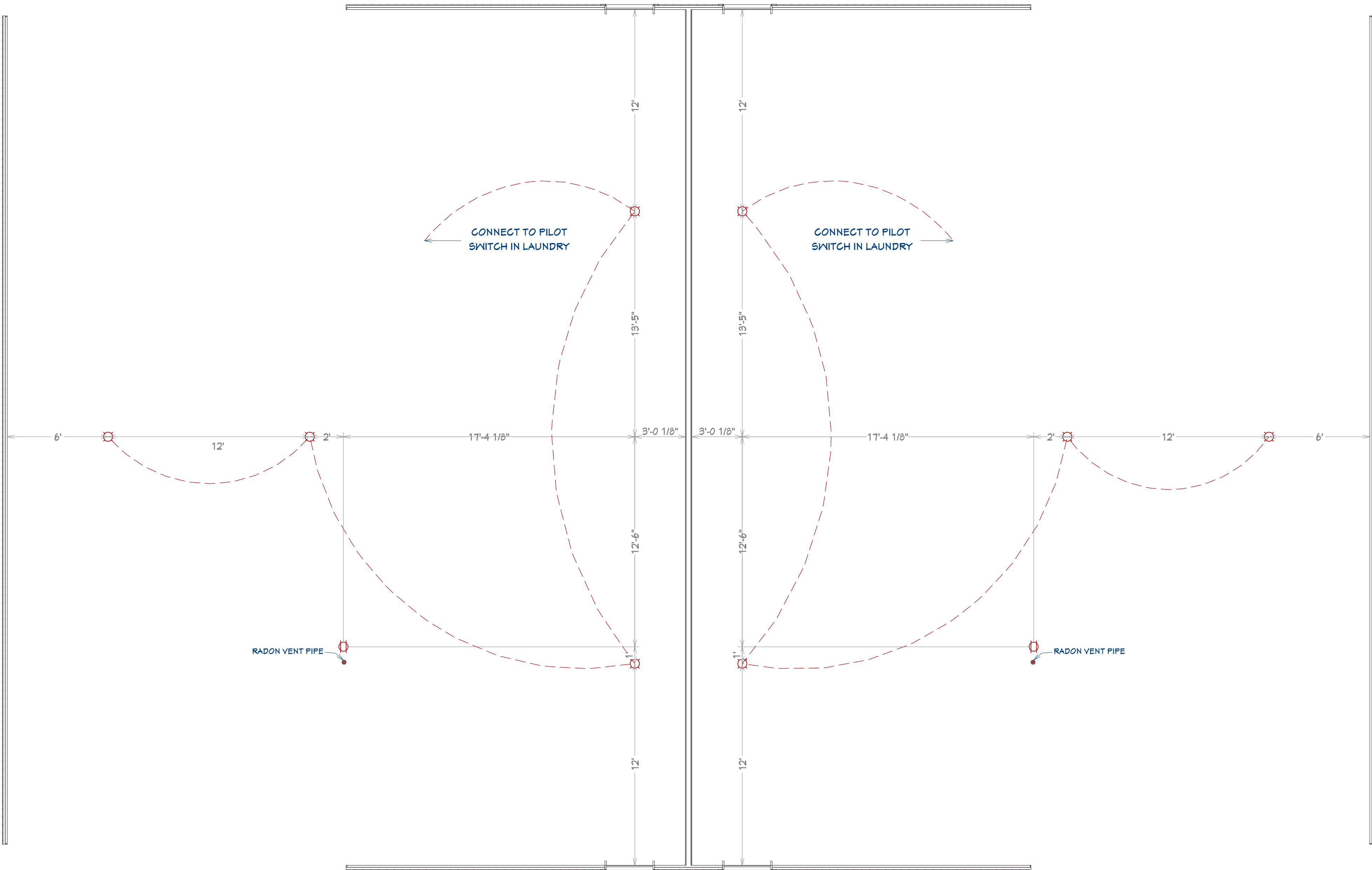
5/12/2021

SCALE:

1/4" = 1'

SHEET:

1.E106



ELECTRICAL SCHEDULE - ATTIC				
3D ELEVATION	2D SYMBOL	DESCRIPTION	QTY	REF HEIGHT
		BARE BULB	8	0"
		RADON MITIGATION FAN OUTLET	2	0"

IRC R314 SMOKE ALARMS

R314.1 GENERAL & R314.1.1 LISTINGS

SMOKE ALARMS SHALL COMPLY WITH NFPA T2 AND SECTION R314. SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.

R314.3 LOCATION

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

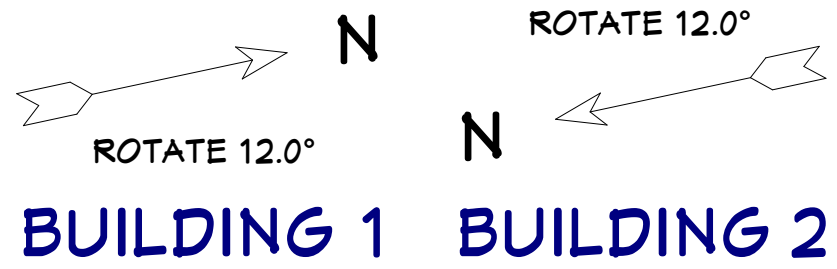
1. IN EACH SLEEPING ROOM.
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3.

R314.4 INTERCONNECTION

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

IRC R315.1 CARBON MONOXIDE ALARMS

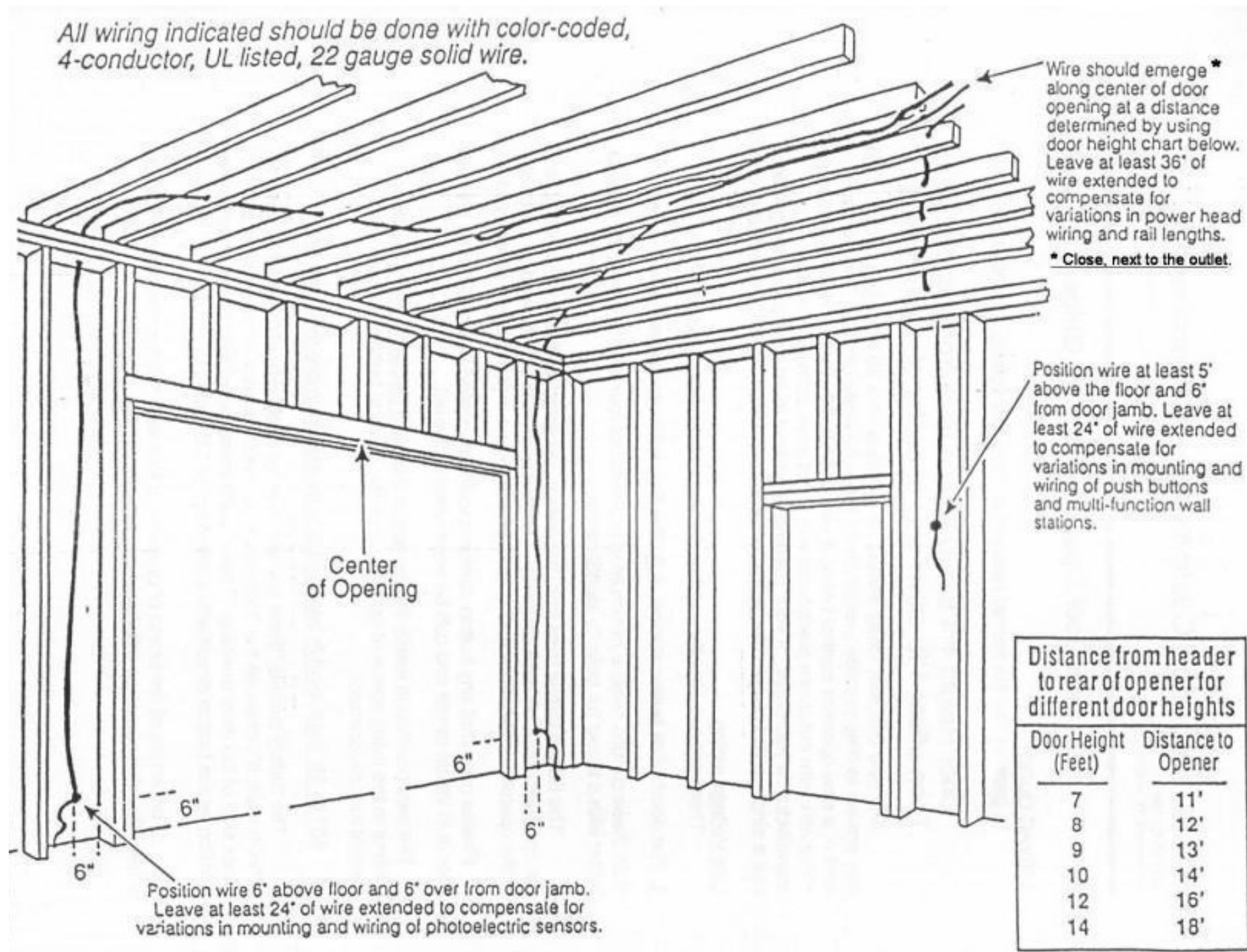
- FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED:
 - OUTSIDE OF EACH SLEEPING AREA,
 - IN THE IMMEDIATE VICINITY OF THE BEDROOMS,
 - AND ON EACH ADDITIONAL HABITABLE LEVEL OF THE DWELLING UNIT.
- WHEN MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE CARBON MONOXIDE ALARM WILL ACTIVATE ALL OF THE CARBON MONOXIDE ALARMS IN THE INDIVIDUAL UNIT.
- THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.



ELECTRICAL NOTES

- SUPPLY ALL LABOR, TRANSPORTATION & MATERIALS (EXCLUDING CUSTOMER PROVIDED FIXTURES NOTED ON PLANS), FOR INSTALLATION OF COMPLETE ELECTRICAL SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING BUT NOT LIMITED TO: FIXTURES, APPLIANCES, WIRING, SWITCHES, OUTLETS, TELEVISION JACKS, SERVICES, GROUNDS, TEMPORARY POWER, JUNCTION BOXES, CONDUIT, SUB-PANELS, ETC.
- ALL WORK, MATERIALS, ETC., TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES.
- FURNISH AND INSTALL ELECTRICAL WORK COMPLETE AND OPERABLE. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES.
- ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHERPROOF. PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER-RESISTIVE MEMBRANE AT EXTERIOR WALLS.
- PROVIDE SEPARATE CIRCUITS EACH FOR DISHWASHER, REFRIGERATOR, WASHER, DRYER, F.A.U. AND MICROWAVE OVEN.
- ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.
- SWITCHED OUTLETS SHALL BE ½ HOT.
- ALL FIXTURES, OUTLETS, RECEPTACLES ETC., PENETRATING FIRE ASSEMBLIES SHALL BE RATED AND INSTALLED TO MEET THE REQUIREMENTS OF THE BUILDING CODE.
- PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS, G.F.C.I., AT ALL KITCHENS, BATHS, GARAGES, OUTDOOR AND WET AREA OUTLETS.
- USE ONLY COMPETENT AND SKILLED PERSONNEL AND PERFORM ALL WORK, INCLUDING AESTHETIC AS WELL AS ELECTRICAL AND MECHANICAL ASPECTS TO STANDARDS CONSISTENT WITH THE BEST PRACTICES OF THE TRADE.
- NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT APPROVAL FROM A STRUCTURAL ENGINEER.
- OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC. FINAL SWITCHES FOR DIMMERS SHALL BE VERIFIED WITH OWNER.

GARAGE DOOR OPENER WIRING



REVISION TABLE	
NUMBER	DATE

TITLE:
ELECTRICAL
ATTIC, BUILDINGS 1 & 2

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

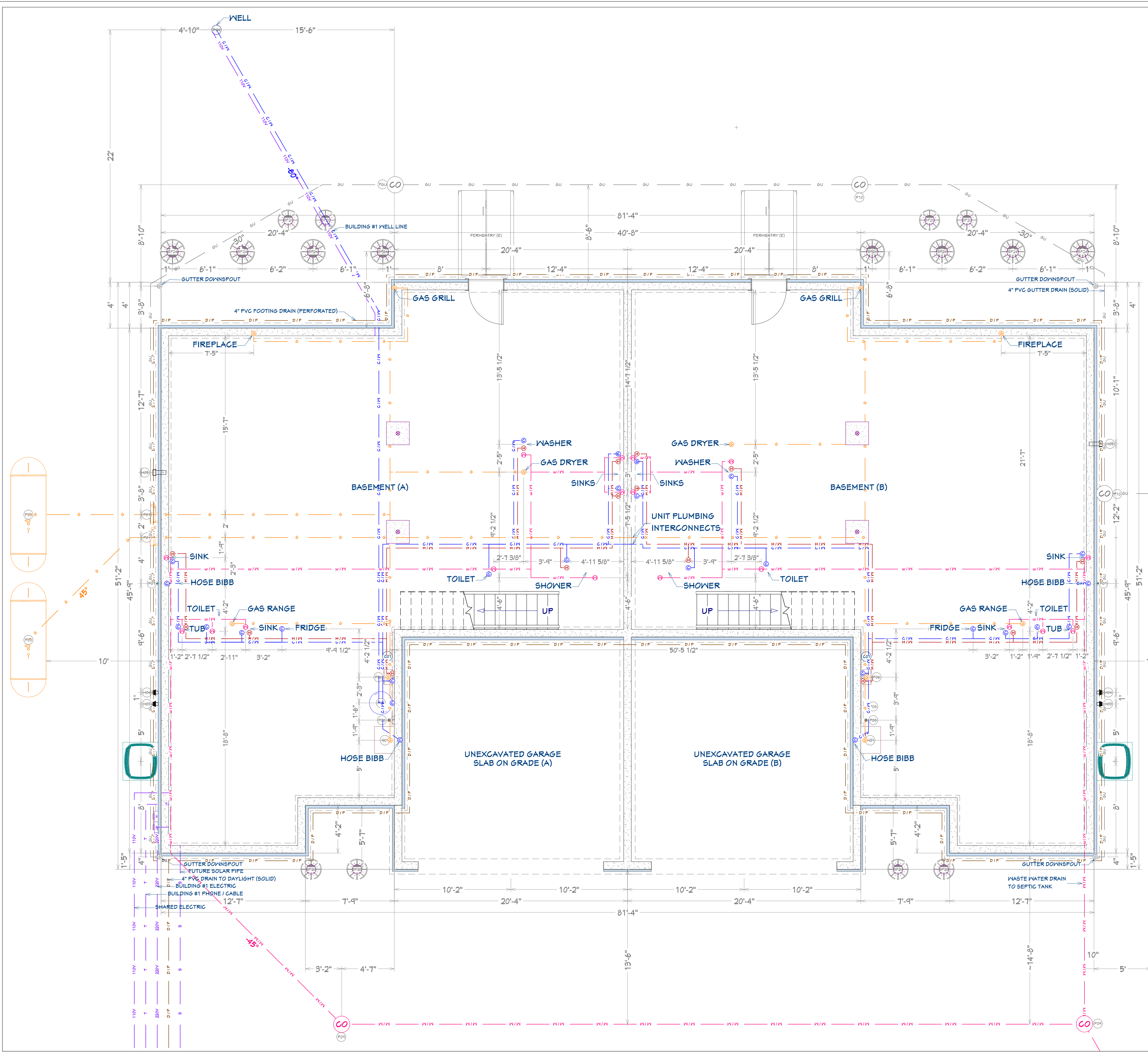
5/12/2021

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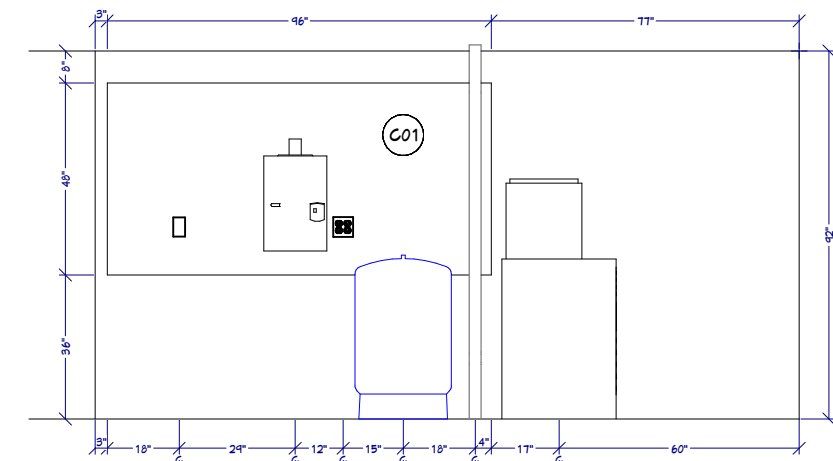
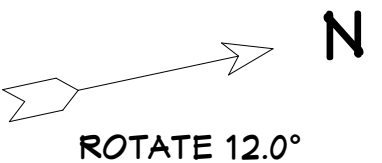
1/4" = 1'

SHEET:

1.E107



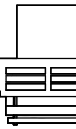
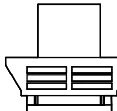



KEY			
PRIMARY ELECTRIC	-220V	220V	
SHARED ELECTRIC	-110V	110V	
FUTURE SOLAR PIPE	-S	S	
GAS, PROPANE	-G	G	
PHONE / CABLE TV	-T	T	
PROPERTY LINE	-L/L	L/L	
SEPTIC, LEACH LINE	-W/P	W/P	
WASTE WATER	-D/P	D/P	
FOOTING DRAIN	-GU	GU	
WATER, COLD	-C/W	C/W	
WATER, HOT	-H/W	H/W	
WELL SEPARATION	-S/S	S/S	
SEPTIC SEPARATION	-S/S	S/S	
EXISTING CONTOUR	-E/C	E/C	
PROPOSED CONTOUR	-P/C	P/C	
SEPTIC, PRIMARY	-S/P	S/P	
SEPTIC, SECONDARY	-S/S	S/S	



UNIT A UTILITY WALL

UTILITY WALL SCHEDULE				
NUMBER	LABEL	QTY	WIDTH	DEPTH
C01	UTILITY WALL	2	96"	2"

HVAC SCHEDULE - BASEMENT			
SYMBOL	NUMBER	DESCRIPTION	QTY
	H01	GAS FURNACE HVAC COIL	2
	H02	OUTDOOR COMPRESSOR UNIT	2
	H03	FURNACE DIRECT VENT TERMINATION CAP	2
	H04	HOT WATER HEATER DIRECT VENT TERMINATION CAP	2
	H05	4" DRYER EXHAUST VENT HOOD	2

PLUMBING SCHEDULE - BASEMENT, BLDG 1			
SYMBOL	NUMBER	DESCRIPTION	QTY
	P01	GAS SHUTOFF / REGULATOR / METER	2
	P02	SEPTIC TANK (1,500 GALLON)	1
	P03	UNDERGROUND PROPANE TANK (500 GALLON)	2
	P04	WELL	1
	P05	WELL PRESSURE TANK / PUMP SWITCH	1
	P06	GAS TANKLESS WATER HEATER	2
	P07	HOSE BIBB	2
	P08	3\"/>	2
	P09	4\"/>	4
	P10	4\"/>	3



REVISION TABLE	
NUMBER	DATE
1	5/10/2021

TITLE: **PLUMBING & HVAC**
BASEMENT, BUILDING 1

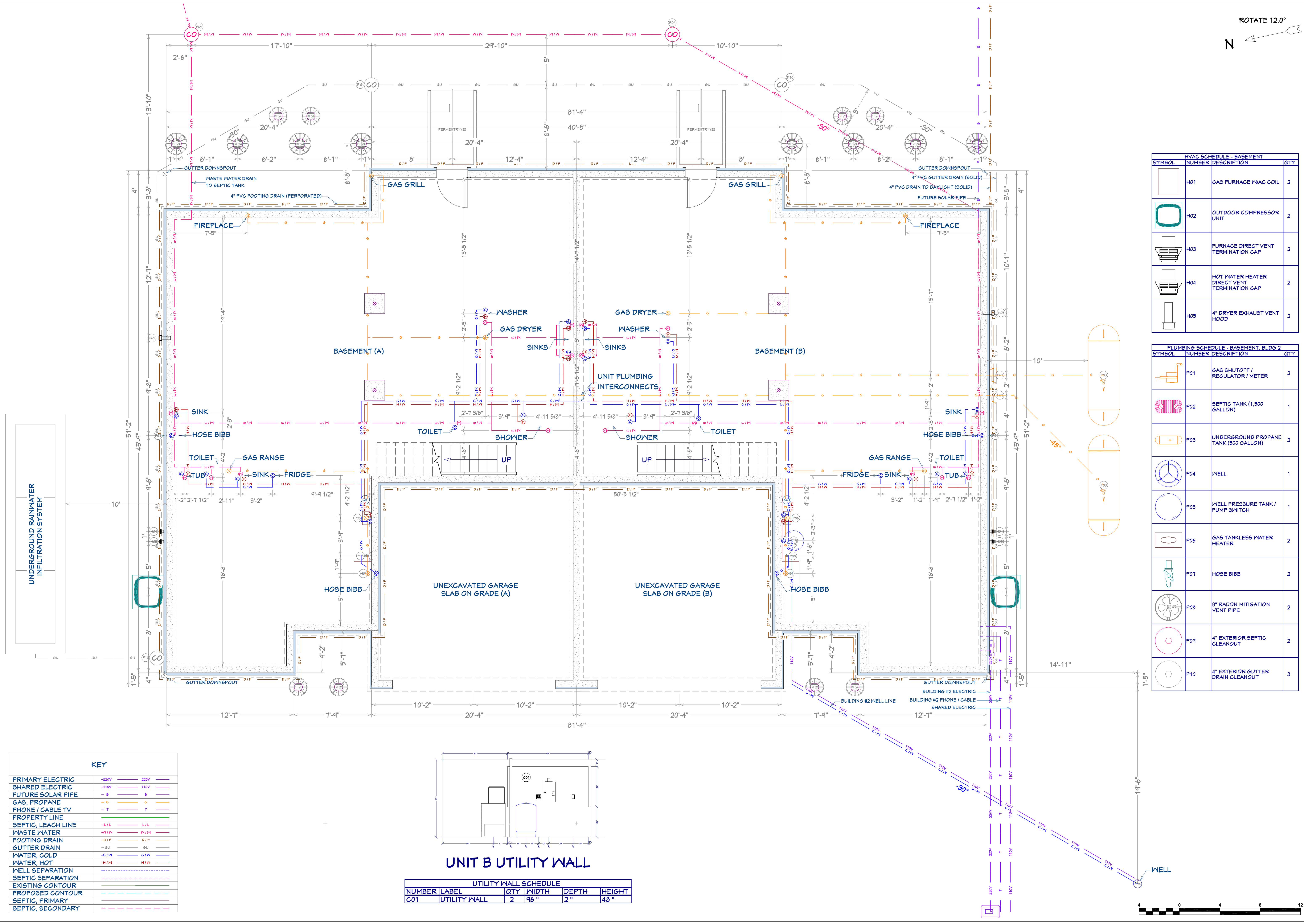
PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:
5/12/2021





SCALE:
1/4" = 1'











SHEET:
1.P101



KEY			
PRIMARY ELECTRIC	-220V	220V	
SHARED ELECTRIC	-110V	110V	
FUTURE SOLAR PIPE	-S	S	
GAS, PROPANE	-G	G	
PHONE / CABLE TV	-T	T	
PROPERTY LINE			
SEPTIC, LEACH LINE	-L/L	L/L	
WASTE WATER	-W/W	W/W	
FOOTING DRAIN	-D/P	D/P	
GUTTER DRAIN	-G/D	G/D	
WATER, COLD	-C/W	C/W	
WATER, HOT	-H/W	H/W	
WELL SEPARATION			
SEPTIC SEPARATION			
EXISTING CONTOUR			
PROPOSED CONTOUR			
SEPTIC, PRIMARY			
SEPTIC, SECONDARY			

UTILITY WALL SCHEDULE					
NUMBER	LABEL	QTY	WIDTH	DEPTH	HEIGHT
C01	UTILITY WALL	2	96"	2"	48"

HVAC SCHEDULE - BASEMENT			
SYMBOL	NUMBER	DESCRIPTION	QTY
	H01	GAS FURNACE HVAC COIL	2
	H02	OUTDOOR COMPRESSOR UNIT	2
	H03	FURNACE DIRECT VENT TERMINATION CAP	2
	H04	HOT WATER HEATER DIRECT VENT TERMINATION CAP	2

PLUMBING SCHEDULE - BASEMENT, BLDG 2			
SYMBOL	NUMBER	DESCRIPTION	QTY
	P01	GAS SHUTOFF / REGULATOR / METER	2
	P02	SEPTIC TANK (1,500 GALLON)	1
	P03	UNDERGROUND PROPANE TANK (500 GALLON)	2
	P04	WELL	1
	P05	WELL PRESSURE TANK / PUMP SWITCH	1
	P06	GAS TANKLESS WATER HEATER	2
	P07	HOSE BIBB	2
	P08	3" RADON MITIGATION VENT PIPE	2
	P09	4" EXTERIOR SEPTIC CLEANOUT	2
	P10	4" EXTERIOR GUTTER DRAIN CLEANOUT	3

REVISION TABLE

NUMBER	DATE	REVISION	DESCRIPTION
1	5/10/2021	BM	ADD EXT FOUND INSUL

TITLE:

PLUMBING & HVAC
BASEMENT, BUILDING 2

PROJECT DESCRIPTION:

BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:

MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

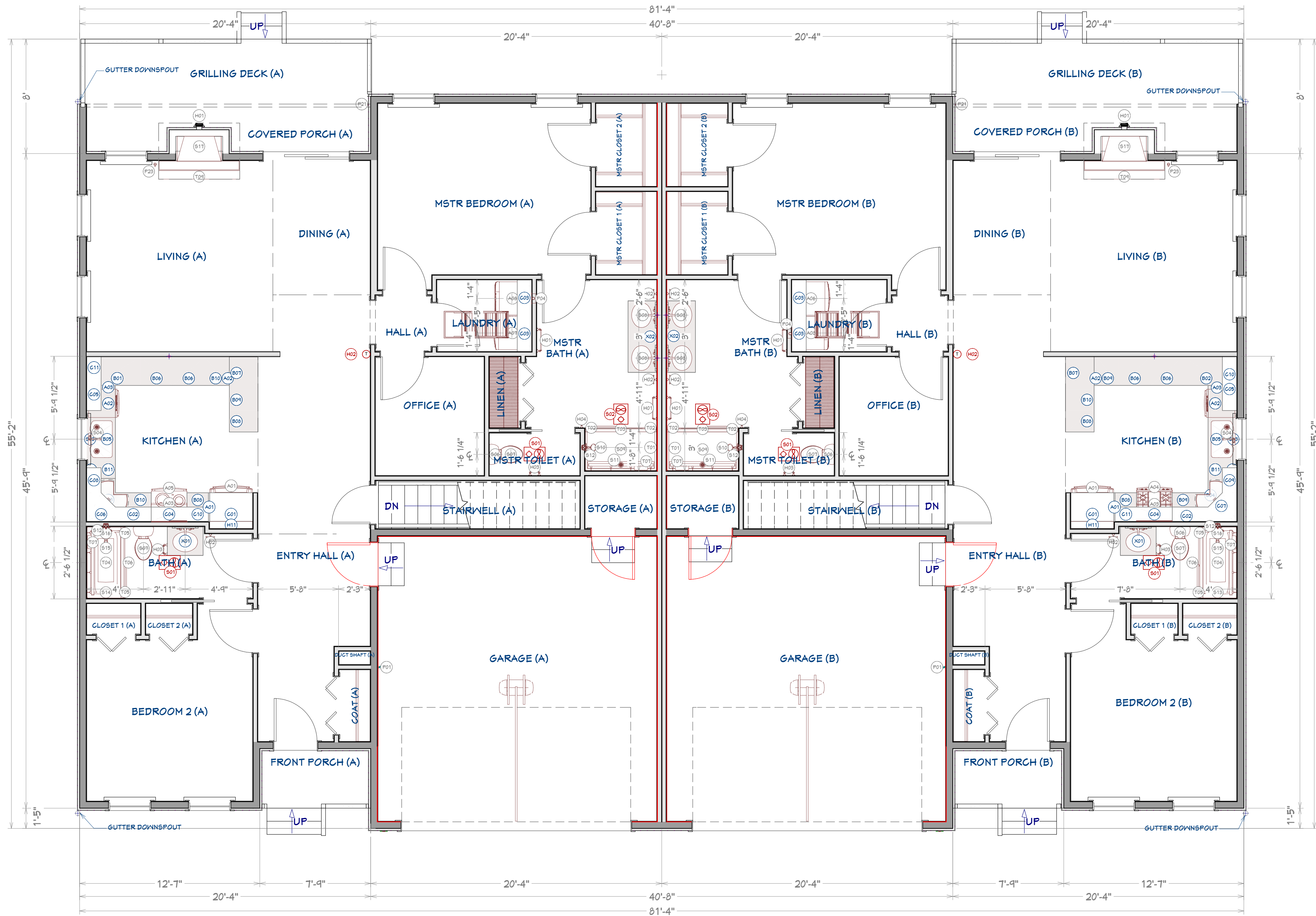
5/12/2021

SCALE:

1/4" = 1'




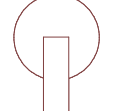
SHEET:



1.P102



- VENTILATION NOTES**
- ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR W/SCREEN AND BACK DAMPER. FURNACE, FIREPLACE AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.
 - ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 300 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.
 - EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 80 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER.
 - RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.
 - ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
 - ALL ROOF VENT PIPES, CHIMNEYS OR HOODS SHALL BE BLACK IN COLOR.
 - WHERE POSSIBLE, LOCATE ALL ROOF VENTS TO REAR SIDE OR RIDGES.
 - VENTS TO TERMINATE A MINIMUM OF 3'-0" FROM WINDOWS.

- HVAC NOTES**
1. HEAT / AC DUCTING SHALL BE SECURED, SEALED AND INSULATED AS APPROPRIATE.
 2. NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
 3. PROVIDE SOLID METAL PIPE FOR DRYER VENT TO EXTERIOR. DO NOT INSTALL SCREEN ON DRYER VENT. PROVIDE ENERGY EFFICIENT DRYER VENT (WITH FLOATING SHUTTLE).
 4. INSTALL CONDENSATE LINE FOR ALL CONDENSATING HVAC EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
 5. DEFINE "PROPER REFRIGERANT CHARGE" TO BE WITHIN 10% OF MANUFACTURER RECOMMENDATIONS.
 6. MECHANICAL EQUIPMENT MUST BE ACCESSIBLE FOR SERVICE, INCLUDING AC CONDENSATE DRAIN PAN & TRAP.
 7. USE RIGID DUCT OR OTHER METHODS TO KEEP FAN BACK-PRESSURE BELOW 0.2" FOR EOY SYSTEMS.

PLUMBING SCHEDULE - 1ST FLOOR				
SYMBOL	NUMBER	MANUFACTURER	DESCRIPTION	QTY
	P01		HOSE BIBB	2
	P04		IN-WALL WASHING MACHINE OUTLET (HOT, COLD & WASTE)	2
	P21		BBQ GRILL QUICK DISCONNECT & SHUTOFF VALVE	2
	P23		FLOOR "KEY" GAS SHUTOFF VALVE	2

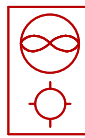
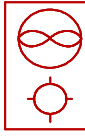

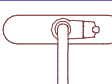
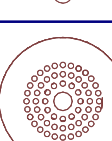
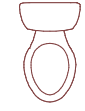



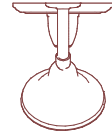



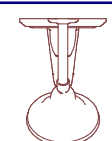
HVAC SCHEDULE - 1ST FLOOR				
SYMBOL	NUMBER	MANUFACTURER	DESCRIPTION	QTY
	H01		FIREPLACE 4" X 6-5/8" DIRECT VENT TERMINATION CAP	2
	H02		HVAC SUPPLIED THERMOSTAT	2

ROTATE 12.0° N
ROTATE 12.0° N
BUILDING 1 BUILDING 2

CUSTOMER SUPPLIED CABINETS

CABINET SCHEDULE - CUSTOMER SUPPLIED						
3D PERSPECTIVE	NUMBER	LABEL	QTY	DESCRIPTION	WIDTH	HEIGHT
	X01	30" VANITY W/ MIRRORS	2	CUSTOMER PROVIDED 30" VANITY W/COUNTERTOP, BACKSPLASH, SINK, MIRROR & KNOBS/PULLS	30"	71 3/4"
	X02	60" VANITY W/ MIRRORS	2	CUSTOMER PROVIDED 60" VANITY W/COUNTERTOP, BACKSPLASH, (2) SINKS, (2) MIRRORS & KNOBS/PULLS	24"	71 3/4"

CUSTOMER SUPPLIED FIXTURES

PLUMBING & HVAC - CUSTOMER SUPPLIED					QTY
SYMBOL	NUMBER	MANUFACTURER	DESCRIPTION		
	S01	BROAN-NUTONE	AEROLUX EXHAUST FAN & LIGHT	4	
	S02	BROAN-NUTONE	GT140LE EXHAUST FAN & LIGHT	2	
	S03	KOHLER	K-3842-1-NA OCTAVE UNDER-MOUNT KITCHEN SINK W/ K-5807-NA UNDERMOUNT SINK KIT & K-91915 UNDERMOUNT SINK CLIPS	2	
	S04	KOHLER	K-546-VS SIMPLICE KITCHEN SINK FAUCET	2	
	S05	KOHLER	K-8801-VS DUOSTRAINER SINK DRAIN AND STRAINER WITH TAILPIECE	4	
	S06	KOHLER	K-3979-0 HIGHLINE COMFORT HEIGHT TOILET (K-4199-0 HIGHLINE BOWL + K-4468-0 WELL/NORTH TANK)	4	
	S07	KOHLER	K-4636-0 CACHET QUIET-CLOSE ELONGATED TOILET SEAT	4	
	S08	KOHLER	K-394-4-BN DEVONSHIRE WIDESPREAD BATHROOM SINK FAUCET	6	
	S09	KOHLER	K-9928-0 GROOVE SHOWER BASE W/ K-9337-NA SHOWER DRAIN COVER (TEAK)	2	
	S10	KOHLER	K-T53946-4-BN DEVONSHIRE, RITE-TEMP, SHOWER TRIM SET	2	
	S11	KOHLER	K-9132-BN SHOWER DRAIN	2	
	S12	KOHLER	K-8304-KS-NA RITE-TEMP PRESSURE-BALANCING VALVE (I.E. K-P8300-KS-NA RITE-TEMP ROUGH-IN VALVE + K-P8305-NA RITE-TEMP PRESSURE-BALANCE CARTRIDGE)	4	
	S13	KOHLER	K-1123-LA-0 ARCHER 32"x60" BATH (LEFT)	1	
	S14	KOHLER	K-1123-RA-0 ARCHER 32"x60" BATH (RIGHT)	1	
	S15	KOHLER	K-1212-BN CLEARFLO SLOTTED OVERFLOW BATH DRAIN	2	
	S16	KOHLER	K-T53945-45-BN DEVONSHIRE, RITE-TEMP, VALVE TRIM	2	
	S17	EMPIRE	DVP36FP91P TAHOE PREMIUM 36" GAS FIREBOX W/ DVPB36TBL SAFETY BARRIER (MATTE BLACK), DVPB6D2A AGED BRICK LINER, DVP36HP STEEL FRAME (HAMMERED PEWTER), DVPK4F HORIZONTAL FLEX VENT KIT & PE20 PLATINUM EMBERS	2	



REVISION TABLE	
NUMBER	DATE

TITLE: **PLUMBING & HVAC**
1ST FLOOR, BUILDINGS 1 & 2

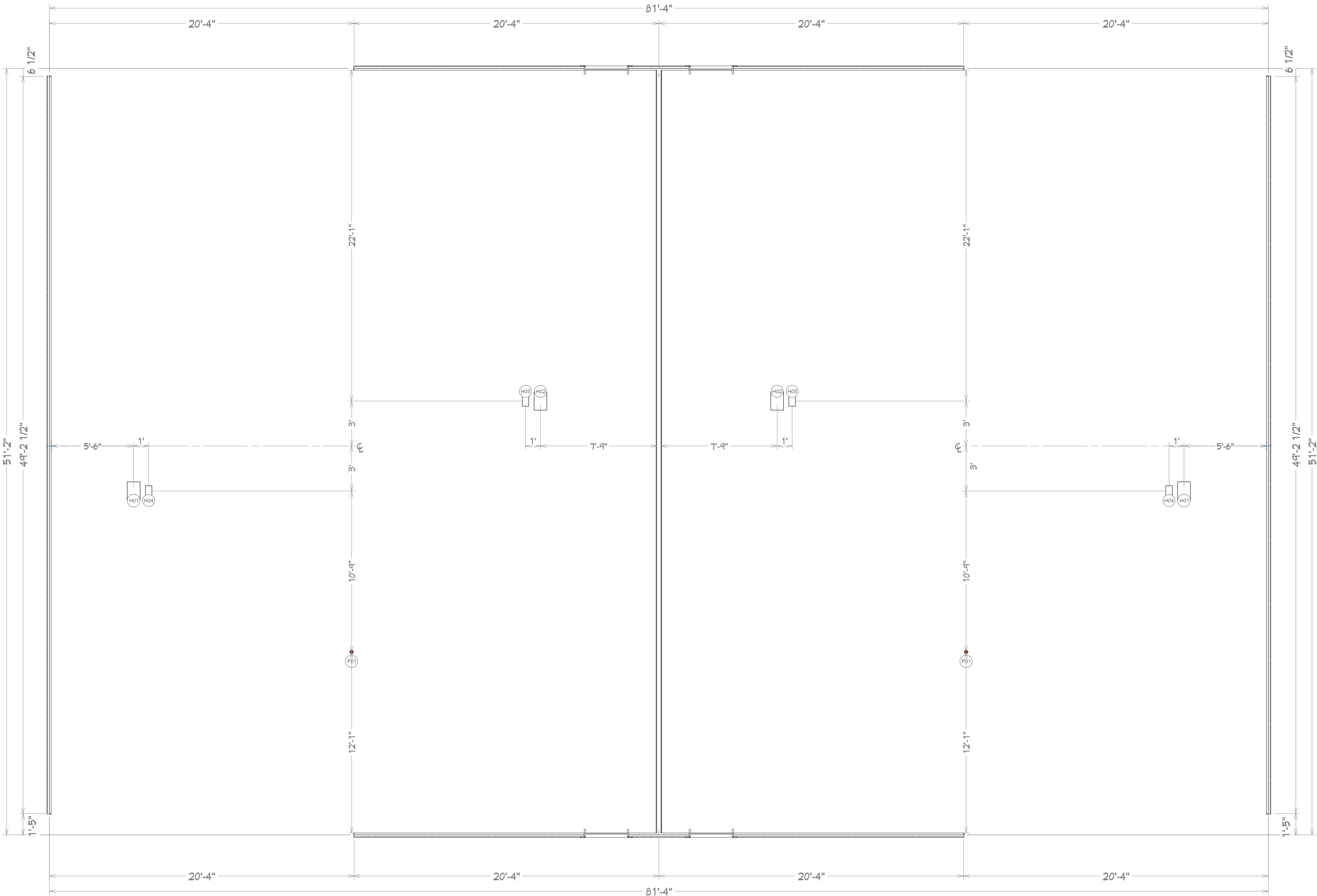
PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSFAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:
5/12/2021

SCALE:
1/4" = 1'

SHEET:
1.P103

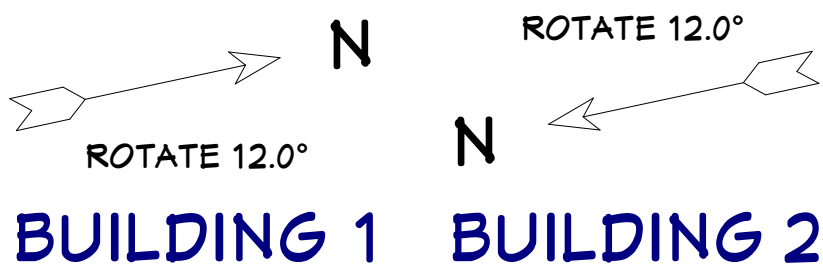


PLUMBING NOTES

- SUPPLY ALL LABOR, TRANSPORTATION & MATERIALS (EXCLUDING CUSTOMER PROVIDED FIXTURES NOTED ON PLANS), FOR INSTALLATION OF COMPLETE PLUMBING SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING BUT NOT LIMITED TO: FIXTURES, HOT AND COLD WATER PIPING, EXHAUST FLUES, COMBUSTION AIR, GAS PIPING, LOG LIGHTERS, DRAINS, SOIL AND VENT PIPING, HOT WATER HEATERS, PIPE INSULATION, METERS, VALVES, VAULTS, ETC.
- ALL MATERIALS, WORK, ETC. TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES. FURNISH AND INSTALL PLUMBING WORK COMPLETE AND OPERABLE, INCLUDING TRENCHING AND BACKFILLING. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES.
- PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER-RESISTIVE MEMBRANE AT EXTERIOR WALLS.
- PROTECT PIPES FROM FREEZING. PLACE ALL WATER LINES AND WASTE LINES WITHIN "CONDITIONED" SPACE AND WHERE APPROVED THERMAL INSULATION IS BETWEEN "LINE" AND UNHEATED AREA.
- ROUGHING-IN SHALL BE COMPLETED, TESTED AND INSPECTED AS REQUIRED BY CODE BEFORE CLOSING-IN WITH OTHER WORK.
- OPENINGS IN PIPES, DRAINS, AND FITTINGS SHALL BE KEPT COVERED DURING CONSTRUCTION.
- PROVIDE SOLID BACKING FOR SECURING FIXTURES. ALL FIXTURES TO BE SET LEVEL.
- PROVIDE CLEANOUTS AT ENDS OF ALL LINES AND WHERE REQUIRED BY CODES.
- PROVIDE SHUT-OFF VALVES AT EACH FIXTURE.
- PROVIDE COLD WATER LINE TO REFRIGERATOR SPACE IN RECESSED BOX OR IN CABINET IMMEDIATELY ADJACENT TO REFRIGERATOR SPACE.
- ISOLATE ALL PIPING FROM STRUCTURE WITH FIBER PADDING AND AT ALL PENETRATIONS WITH ELASTIC CAULKING OR SOUND ISOLATORS.
- ALL HORIZONTAL A.B.S. PIPING SHALL BE HUNG WITH APPROVED HANGERS AT 4'-0" ON CENTER MINIMUM AND SPACED TO PERMIT EXPANSION AND CONTRACTION WITHOUT HITTING ADJOINING PIPE. VERTICAL PIPING SHALL BE SUPPORTED AT 8'-0" ON CENTER WITH WROUGHT STEEL "U" STRAPS SECURELY FASTENED TO BUILDING FRAME.
- PROVIDE AIR CHAMBERS AT LAVATORY, DISHWASHER AND CLOTHES WASHER WATER CONNECTIONS. SET VERTICALLY AS CLOSE TO FIXTURE AS POSSIBLE.
- PROVIDE WATER HEATER WITH PRESSURE/ TEMPERATURE RELIEF VALVE AND PAN AND DRAIN LINE PIPED TO THE EXTERIOR OF THE BUILDINGS.
- A 12" MINIMUM ACCESS PANEL TO BATHTUB TRAP CONNECTION IS REQUIRED.
- METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.
- ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
- TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
- EACH HOSE BIBB SHALL BE EQUIPPED WITH A NON-REMOVABLE BACK FLOW PREVENTION DEVICE.
- INSTALL WATERPROOF GYPSUM BOARD AT WATER SPLASH AREAS TO MIN 70" ABOVE SHOWER DRAINS.
- INSULATE WASTE LINES FOR SOUND CONTROL.
- ALL ROOF VENT PIPES, CHIMNEYS OR HOODS SHALL BE BLACK IN COLOR.

MECHANICALS

- SUPPLY ALL LABOR, TRANSPORTATION & MATERIAL (EXCLUDING CUSTOMER PROVIDED FIXTURES NOTED ON PLANS), FOR INSTALLATION OF A COMPLETE HEATING AND AIR CONDITIONING SYSTEM TO OPERATE ACCORDING TO ALL APPLICABLE STANDARDS AND BEST PRACTICES OF THE TRADE INCLUDING, BUT NOT LIMITED TO: MECHANICAL UNITS, DUCTS, REGISTERS, CATWALKS, GRILLES, BOOTS, VENT PIPES, DAMPERS, COMBUSTION AIR, FANS, VENTILATORS, REFRIGERANT, ETC.
- ALL MATERIALS, WORK, ETC., TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES.
- FURNISH AND INSTALL ALL EQUIPMENT COMPLETE AND OPERABLE.
- VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES.
- PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER - RESISTIVE MEMBRANE AT EXTERIOR WALLS.
- PROVIDE REQUIRED CLEARANCES FOR DUCT WORK AND TO COMBUSTIBLES.
- PROVIDE A PERMANENT ELECTRIC OUTLET AND SWITCHED LIGHT FIXTURE WHEREVER EQUIPMENT IS INSTALLED.
- NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
- ALL PENETRATIONS OF FIRE ASSEMBLIES SHALL MEET THE REQUIREMENTS OF THE BUILDING CODE AND SECTION TD.
- ALL HVAC EQUIPMENT SHALL BE APPROVED PRIOR TO INSTALLATION PER NATIONALLY RECOGNIZED STANDARDS AND EVIDENCED BY LISTING AND LABEL OF AN APPROVED AGENCY.
- INSTALL AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) 10 AND ENSURE THAT AIR HANDLERS CAN MAINTAIN ADEQUATE PRESSURE AND AIR FLOW. AIR FILTER HOUSINGS MUST BE AIR TIGHT TO PREVENT BYPASS OR LEAKAGE.
- ALL FIXED APPLIANCES ARE REQUIRED TO BE SECURELY FASTENED IN PLACE. PROVIDE SEISMIC BRACING OR ANCHOR UNIT TO PLATFORM WHERE APPROPRIATE.
- INSTALL CENTRALIZED HVAC SYSTEM EQUIPPED WITH ADDITIONAL CONTROLS TO OPERATE IN DEHUMIDIFICATION MODE.
- CONDENSER PAD OR COMPRESSOR FROM GROUND MUST NOT BE LESS THAN 3" ABOVE GRADE.
- HVAC SYSTEM MUST BE PROPERLY SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED METHODOLOGIES.



IECC R402.4.1.2 (IRC N1102.4.1.2) AIR LEAKAGE TESTING

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ANSI/RESNET/ICC 380, ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCHES W.G. (50 PA). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACE AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS, INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS, SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR OR INTERIOR TERMINATIONS FOR CONTINUOUS VENTILATION SYSTEMS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE FULLY OPEN.

HVAC SCHEDULE - ATTIC				
SYMBOL	NUMBER	MANUFACTURER	DESCRIPTION	QTY
	H01	BROAN-NUTONE	634M STEEL 6" ROOF CAP VENT W/BACKDRAFT DAMPER & BIRDSGREEN (KITCHEN RANGE HOOD EXHAUST FAN)	2
	H02	BROAN-NUTONE	634M STEEL 6" ROOF CAP VENT W/BACKDRAFT DAMPER & BIRDSGREEN (MASTER BATHROOM EXHAUST FAN)	2
	H03	BROAN-NUTONE	636 STEEL 4" ROOF CAP VENT W/BACKDRAFT DAMPER & BIRDSGREEN (MASTER TOILET ROOM EXHAUST FAN)	2
	H04	BROAN-NUTONE	636 STEEL 4" ROOF CAP VENT W/BACKDRAFT DAMPER & BIRDSGREEN (BATHROOM 2 EXHAUST FAN)	2

PLUMBING SCHEDULE - ATTIC				
SYMBOL	NUMBER	MANUFACTURER	DESCRIPTION	QTY
	P01		RADON MITIGATION VENT & FAN	2

REVISION TABLE	
NUMBER	DATE

TITLE:
**PLUMBING & HVAC
ATTIC, BUILDINGS 1 & 2**

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:
5/12/2021

SCALE:
1/4" = 1'

SHEET:
1.P104

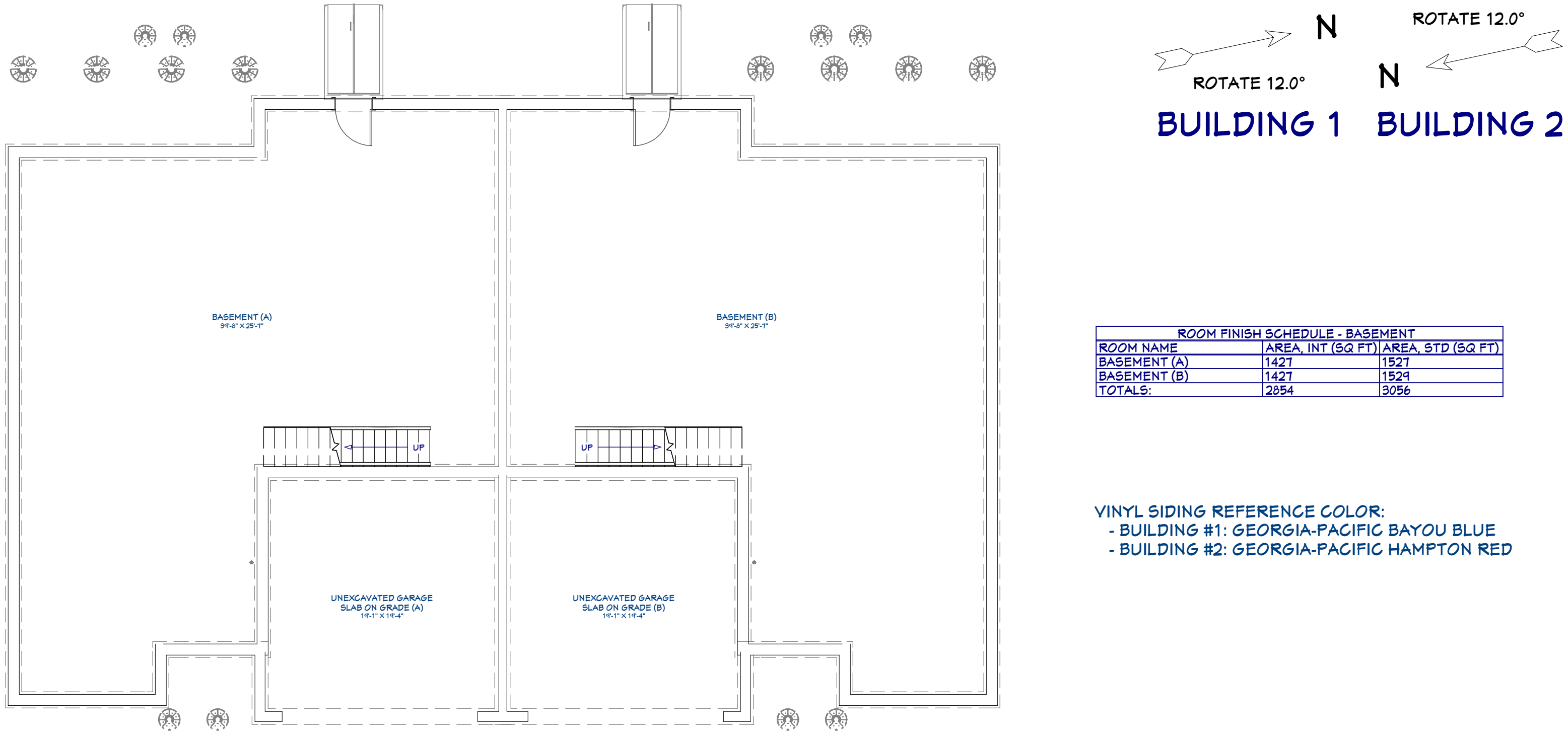


DESCRIPTION	QTY	FINISH	DOOR TRIM		CASING	CASING SIZE	CASING FINISH	LINTEL	LINTEL SIZE	LINTEL FINISH
CLOPAY 16' X 8' COACHMAN CF21 GARAGE DOOR WITH SQ24 GLASS TOP	2	GLASS STANDARD, STANDARD WHITE	STOCK	3/4"X5 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)					
MASONITE 3' 0" FIBERGLASS 1/4 LITE INS'NG ENTRY DOOR (WHITE, PRIMED)	2	GLASS STANDARD, BENJAMIN MOORE UNTINTED/BASE WHITE (SEMI-GLOSS)	WM444	1 1/16"X3 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)	M-AHC8, M-AHC12 - ACCENT		2 3/8"X6"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)	
JELD-KEN 6' 15-LITE GLASS WHITE VINYL SLIDING DOOR WITH SCREEN	2	GLASS STANDARD, BENJAMIN MOORE UNTINTED/BASE WHITE (SEMI-GLOSS)	WM444	1 1/16"X3 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)					
JELD-KEN 3' 0" CAMBRIDGE 2-PANEL STEEL EXTERIOR FIRE DOOR	6	BENJAMIN MOORE UNTINTED/BASE WHITE (SEMI-GLOSS)	WM444	1 1/16"X3 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)					
JELD-KEN 3' 0" CAMBRIDGE 2-PANEL MDF SOLID CORE INTERIOR DOOR (SMOOTH, PRIMED)	14	BENJAMIN MOORE UNTINTED/BASE WHITE (SEMI-GLOSS)	WM444	1 1/16"X3 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)					
JELD-KEN 2' 0" CAMBRIDGE 2-PANEL MDF SOLID CORE INTERIOR DOOR (SMOOTH, PRIMED)	2	BENJAMIN MOORE UNTINTED/BASE WHITE (SEMI-GLOSS)	WM444	1 1/16"X3 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)					
MMI DOOR 3' 0" 15-LITE CLEAR GLASS UNFINISHED FINE INTERIOR FRENCH DOOR	2	GLASS STANDARD, BENJAMIN MOORE UNTINTED/BASE WHITE (SEMI-GLOSS)	WM444	1 1/16"X3 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)					
3' 0" DOORWAY	4		WM444	1 1/16"X3 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)					
JELD-KEN 2' 3" CAMBRIDGE 2-PANEL MDF HOLLOW CORE BIFOLD DOOR (SMOOTH, PRIMED)	2	BENJAMIN MOORE UNTINTED/BASE WHITE (SEMI-GLOSS)	WM444	1 1/16"X3 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)					
JELD-KEN 4' 0" CAMBRIDGE 2-PANEL MDF HOLLOW CORE BIFOLD DOOR (SMOOTH, PRIMED)	4	BENJAMIN MOORE UNTINTED/BASE WHITE (SEMI-GLOSS)	WM444	1 1/16"X3 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)					
JELD-KEN 3' 0" CAMBRIDGE 2-PANEL MDF SOLID CORE POCKET DOOR (SMOOTH, PRIMED)	4	BENJAMIN MOORE UNTINTED/BASE WHITE (SEMI-GLOSS)	WM444	1 1/16"X3 1/2"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)					

FLOOR	DESCRIPTION	QTY	FINISH	WINDOW TRIM		CASING	CASING SIZE	CASING FINISH	STOOL	STOOL SIZE	STOOL FINISH
1	244DH3041 200 SERIES DOUBLE-HUNG WINDOW (TILT-WASH)	14	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)	3X2 / 1	WM444	1 1/16"X3 1/2"		BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)	WM1113	1 1/16"X3 1/4"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)
1	244DH3040 200 SERIES DOUBLE-HUNG WINDOW (TILT-WASH)	2	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)	3X2 / 1	WM444	1 1/16"X3 1/2"		BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)	WM1113	1 1/16"X3 1/4"	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)
2	244DH3040 200 SERIES DOUBLE-HUNG WINDOW (TILT-WASH)	4	BENJAMIN MOORE UNTINTED/ BASE WHITE (SEMI-GLOSS)	3X2 / 1							

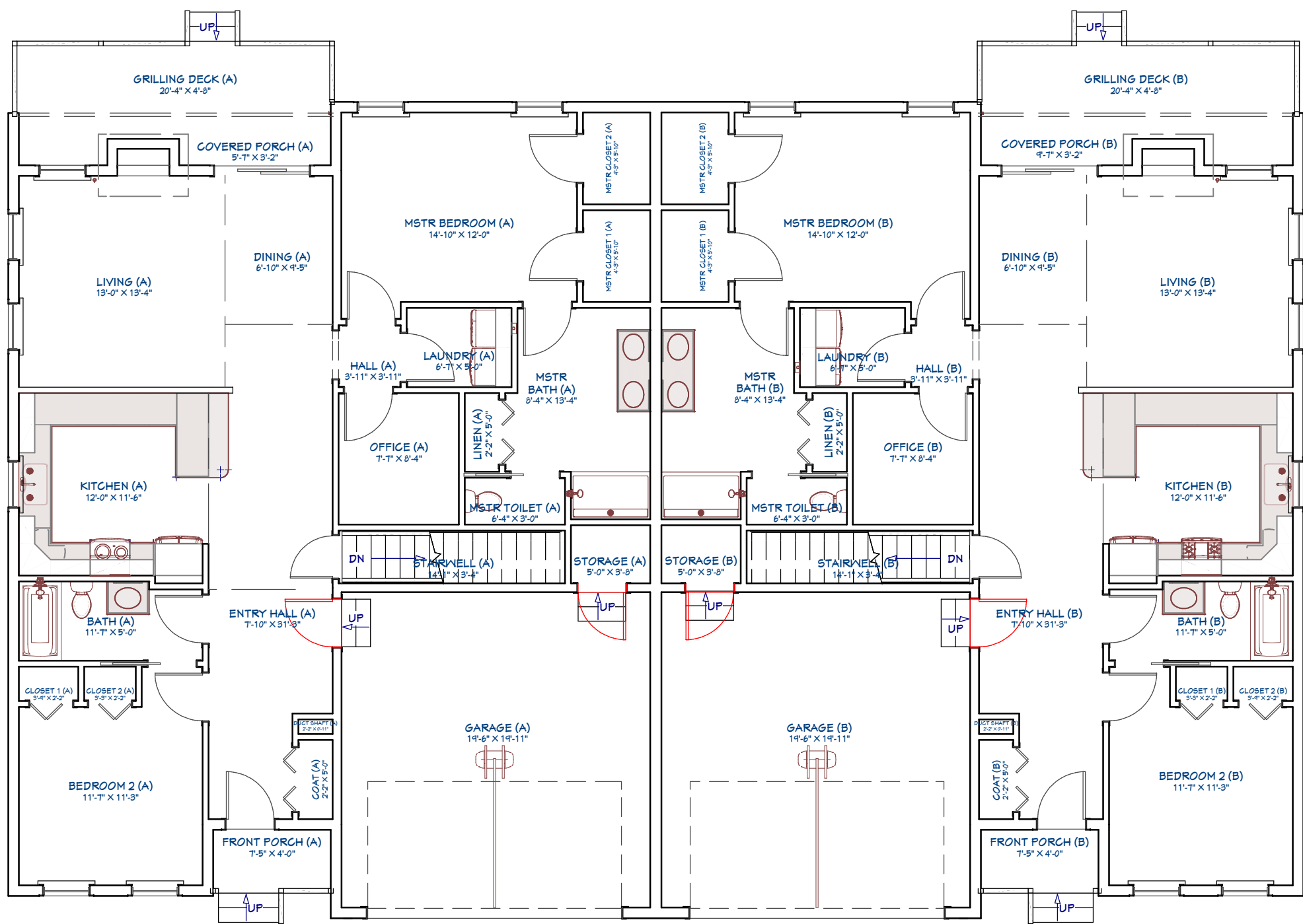
ROOM FINISH SCHEDULE - 1ST FLOOR (LIVABLE)											
ROOM NAME	AREA, INT (SQ FT)	AREA, STD (SQ FT)	FLOOR FINISH	WALL MATERIAL	CEILING FINISH	BASE MOLDING	BASE MOLDING SIZE	CROWN MOLDING	CROWN MOLDING SIZE		
BATH (A)	56	64	MARAZZI MODERN RENEVAL PARCHMENT 12 X 24 GLAZED PORCELAIN FLOOR AND WALL TILE, THINSET MORTAR, BACKERBOARD	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
BATH (B)	56	64	MARAZZI MODERN RENEVAL PARCHMENT 12 X 24 GLAZED PORCELAIN FLOOR AND WALL TILE, THINSET MORTAR, BACKERBOARD	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
BEDROOM 2 (A)	140	159	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
BEDROOM 2 (B)	140	159	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
CLOSET 1 (A)	8	11	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
CLOSET 1 (B)	7	9	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
CLOSET 2 (A)	7	9	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
CLOSET 2 (B)	8	11	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
COAT (A)	11	17	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
COAT (B)	11	17	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
DINING (A)	64	70	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
DINING (B)	64	70	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
ENTRY HALL (A)	223	239	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
ENTRY HALL (B)	223	239	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
HALL (A)	15	18	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
HALL (B)	15	18	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
KITCHEN (A)	138	149	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
KITCHEN (B)	138	149	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
LAUNDRY (A)	33	38	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
LAUNDRY (B)	33	38	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
LINEN (A)	11	14	MARAZZI MODERN RENEVAL PARCHMENT 12 X 24 GLAZED PORCELAIN FLOOR AND WALL TILE, THINSET MORTAR, BACKERBOARD	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
LINEN (B)	11	14	MARAZZI MODERN RENEVAL PARCHMENT 12 X 24 GLAZED PORCELAIN FLOOR AND WALL TILE, THINSET MORTAR, BACKERBOARD	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
LIVING (A)	173	189	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
LIVING (B)	173	189	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
MSTR BATH (A)	105	117	MARAZZI MODERN RENEVAL PARCHMENT 12 X 24 GLAZED PORCELAIN FLOOR AND WALL TILE, THINSET MORTAR, BACKERBOARD	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	FIRE RATED DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
MSTR BATH (B)	105	117	MARAZZI MODERN RENEVAL PARCHMENT 12 X 24 GLAZED PORCELAIN FLOOR AND WALL TILE, THINSET MORTAR, BACKERBOARD	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	FIRE RATED DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
MSTR BEDROOM (A)	182	199	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
MSTR BEDROOM (B)	182	199	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
MSTR CLOSET 1 (A)	25	24	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	FIRE RATED DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
MSTR CLOSET 1 (B)	25	24	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	FIRE RATED DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
MSTR CLOSET 2 (A)	25	31	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	FIRE RATED DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
MSTR CLOSET 2 (B)	25	31	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	FIRE RATED DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
MSTR TOILET (A)	14	23	MARAZZI MODERN RENEVAL PARCHMENT 12 X 24 GLAZED PORCELAIN FLOOR AND WALL TILE, THINSET MORTAR, BACKERBOARD	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
MSTR TOILET (B)	14	23	MARAZZI MODERN RENEVAL PARCHMENT 12 X 24 GLAZED PORCELAIN FLOOR AND WALL TILE, THINSET MORTAR, BACKERBOARD	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
OFFICE (A)	63	70	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
OFFICE (B)	63	70	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"	WM45	3 3/16"X4 3/16"		
STAIRS LANDING (A)	1	1	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
STAIRS LANDING (B)	1	1	LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E, WM126	1/2"X3/4", 9/16"X5 1/4"				
TOTALS:	2598	2894									

ROOM FINISH SCHEDULE - 1ST FLOOR (NON-LIVABLE)											
ROOM NAME	AREA, INT (SQ FT)	AREA, STD (SQ FT)	FLOOR FINISH	WALL MATERIAL	CEILING FINISH	BASE MOLDING	BASE MOLDING SIZE	CROWN MOLDING	CROWN MOLDING SIZE		
COVERED PORCH (A)	55	62		4" VINYL LAP SIDING, BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	VINYL BEADBOARD (WHITE)						
COVERED PORCH (B)	55	62		4" VINYL LAP SIDING, BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	VINYL BEADBOARD (WHITE)						
DUCT SHAFT (A)	2	2		BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)							
DUCT SHAFT (B)	2	2		BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)							
FIREPLACE BOX (A)	3	6		4" VINYL LAP SIDING, FIR STUD 24" OC							
FIREPLACE BOX (B)	3	6		4" VINYL LAP SIDING, FIR STUD 24" OC							
FRONT PORCH (A)	30	33		4" VINYL LAP SIDING	VINYL BEADBOARD (WHITE)						
FRONT PORCH (B)	30	33		4" VINYL LAP SIDING	VINYL BEADBOARD (WHITE)						
GARAGE (A)	387	413		BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	FIRE RATED DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E	9/16"X5 1/4"				
GARAGE (B)	387	413		BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	FIRE RATED DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E	9/16"X5 1/4"				
GRILLING DECK (A)	44	44		4" VINYL LAP SIDING							
GRILLING DECK (B)	44	44		4" VINYL LAP SIDING							
STAIRWELL (A)	47	52		BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E	9/16"X5 1/4"				
STAIRWELL (B)	47	52		BENJAMIN MOORE OC-11 WHITE DOVE (MATTE)	DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E	9/16"X5 1/4"				
STORAGE (B)	18	22		LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	FIRE RATED DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E	9/16"X5 1/4"				
STORAGE (A)	18	22		LIFEPROOF SHENANDOAH OAK 6.5" ENGINEERED HARDWOOD FLOORING	FIRE RATED DRYNALL, BENJAMIN MOORE UNTINTED/BASE WHITE (FLAT)	L163E	9/16"X5 1/4"				
TOTALS:	1272	1368									

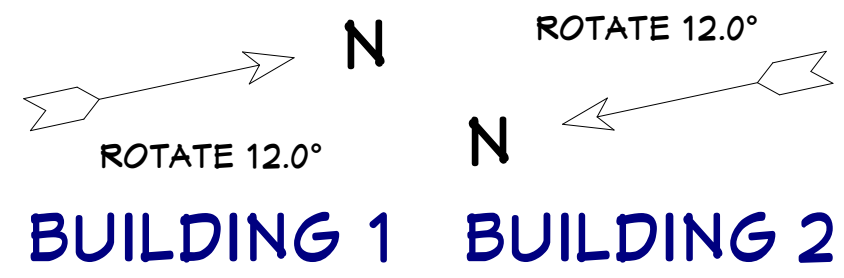
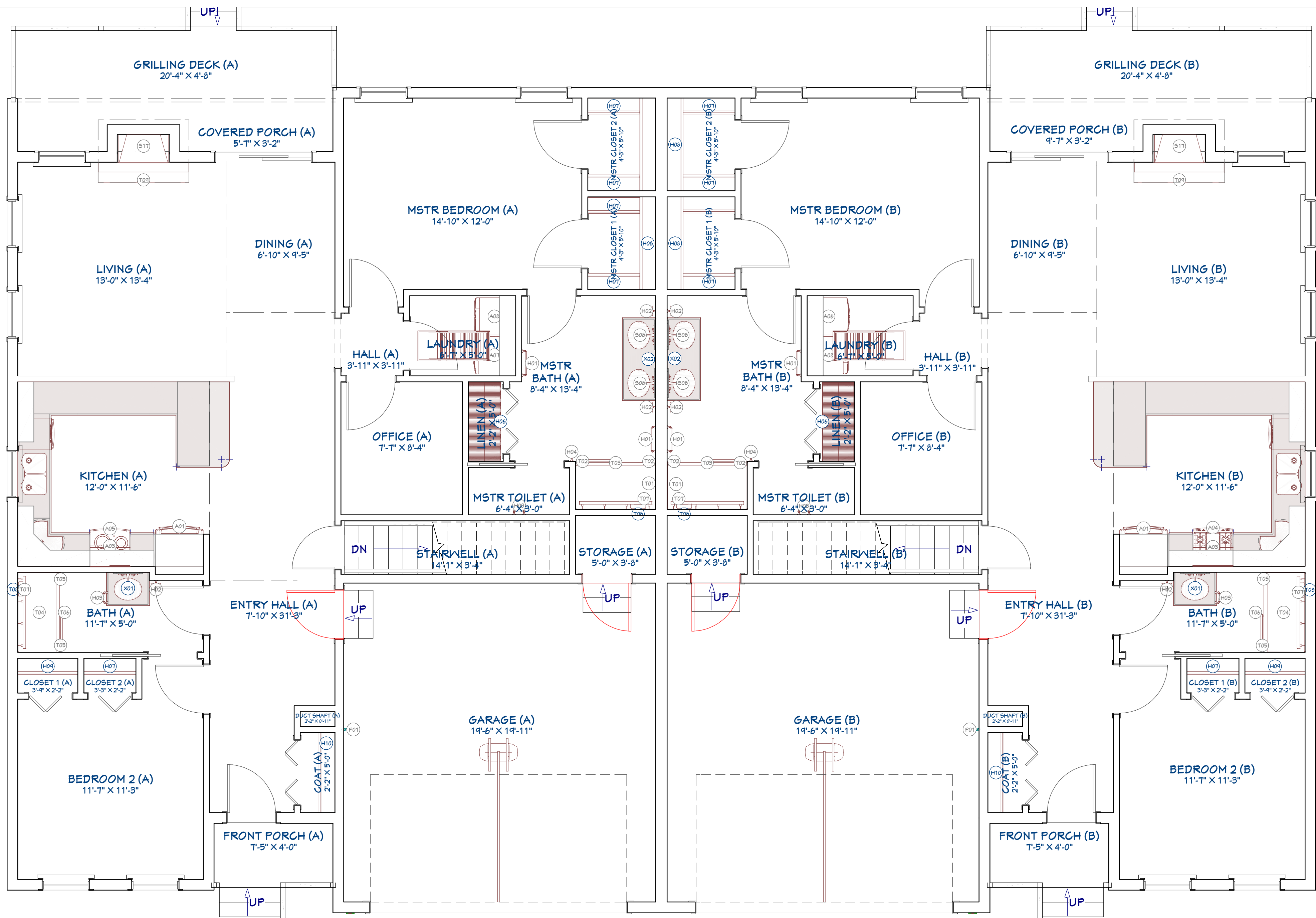


ROOM FINISH SCHEDULE - BASEMENT			
ROOM NAME	AREA, INT (SQ FT)	AREA, STD (SQ FT)	
BASEMENT (A)	1427	1527	
BASEMENT (B)	1427	1524	
TOTALS:	2854	3058	

VINYL SIDING REFERENCE COLOR:
- BUILDING #1: GEORGIA-PACIFIC BAYOU BLUE
- BUILDING #2: GEORGIA-PACIFIC HAMPTON RED



DOOR HANDLES & LOCKS			
ROOM NAME	TYPE	HANDLE	LOCK
GARAGE (A)	GARAGE	SPADE LIFT HANDLE (2 PAIR)	SPADE STEP PLATE (SINGLE, CENTERED)
GARAGE (B)	GARAGE	SPADE LIFT HANDLE (2 PAIR)	SPADE STEP PLATE (SINGLE, CENTERED)
ENTRY HALL (A)/FRONT PORCH (A)	HINGED	SCHLAGE F60 V CAM 611 SIE - CAMELOT SIENA HANDLES	SCHLAGE F60 V CAM 611 SIE - CAMELOT SIENA HANDLES
ENTRY HALL (B)/FRONT PORCH (B)	HINGED	SCHLAGE F60 V CAM 611 SIE - CAMELOT SIENA HANDLES	SCHLAGE F60 V CAM 611 SIE - CAMELOT SIENA HANDLES
DINING (B)/COVERED PORCH (B)	SLIDER	FULL HANDLE	STANDARD
ENTRY HALL (A)/GARAGE (A)	HINGED	SCHLAGE F51 ACC 614 - FLYMOUTH ACCENT LEVER KEYED ENTRY	SCHLAGE B60 614 - SINGLE CYLINDER DEADBOLT
ENTRY HALL (B)/GARAGE (B)	HINGED	SCHLAGE F51 ACC 614 - FLYMOUTH ACCENT LEVER KEYED ENTRY	SCHLAGE B60 614 - SINGLE CYLINDER DEADBOLT
STORAGE (A)/GARAGE (A)	HINGED	SCHLAGE F51 ACC 614 - FLYMOUTH ACCENT LEVER KEYED ENTRY	SCHLAGE B60



APPLIANCE SCHEDULE					DIMENSIONS	
SYMBOL	ISV PERSPECTIVE	NUMBER	QTY	MANUFACTURER DESCRIPTION		
		A01	2	GEF28J7MPS - FRENCH-DOOR REFRIGERATOR	36x35 1/8x10 "	
		A02	2	GDT630PSMS5 - DISHWASHER	23 3/4x22 1/2x30 1/4 "	
		A03	2	JVM180RFS5 - OVER-THE-RANGE MICROWAVE OVEN	30x15 1/4x18 1/2 "	
		A04	1	JG666REK55 - GAS RANGE	30x28 3/4x41 "	
		A05	1	JB6955K55 - ELECTRIC CONVECTION RANGE	30x28x41 "	
		A06	1	GFDS955N4H - GAS DRYER	28x32x34 3/4 "	
		A07	1	GFDS955N4H - ELECTRIC DRYER	28x32x34 3/4 "	
		A08	2	GFV85055N4H - FRONT LOAD WASHER	28x32x34 3/4 "	

FURNITURE SCHEDULE - FIRM & TILE					DIMENSIONS	
SYMBOL	ISV PERSPECTIVE	NUMBER	QTY	MANUFACTURER DESCRIPTION		
		T01	2	K-RT616-K10 CHOREOGRAPH 60"x36"x10" MALL KIT	60x36x10 "	
		T02	4	K-RT638-NY CHOREOGRAPH 48" EDGE TRIM	51/8x15/8x18 1/2 "	
		T03	2	K-T07200-L-BNK REVEL SLIDING SHOWER DOOR	51 9/16x34 3/4x10 "	
		T04	2	K-RT616-K10 CHOREOGRAPH 60"x32"x12" MALL KIT	60x32x12 "	
		T05	4	K-RT638-NY CHOREOGRAPH 12" EDGE TRIM	51/8x15/8x18 1/2 "	
		T06	2	K-T07000-L-BNK REVEL SLIDING BATH DOOR	51 9/16x34 3/4x35 1/2 "	
		T07	4	K-RT628-BNK CHOREOGRAPH SHOWER BARRE	54 1/4x35 11/16x2 1/4 "	
		T08	4	K-RT628-NA CHOREOGRAPH TEAK BARRE SHELF	11 5/16x34 3/4x1 1/8 "	
		T09	2	MANTELS DIRECT CLEFT SLATE HEARTH & FIREPLACE SURROUND	60x36x44 "	

FURNITURE SCHEDULE - FIRM & TILE					DIMENSIONS	
SYMBOL	ISV PERSPECTIVE	NUMBER	QTY	MANUFACTURER DESCRIPTION		
		H01	4	K-10550-BN DEVONSHIRE 18" TOWEL BAR	20 7/16x3 11/16x2 7/16 "	
		H02	6	K-10551-BN DEVONSHIRE TOWEL RING	1 1/2x2 1/2x1 5/8 "	
		H03	4	K-10554-BN DEVONSHIRE TOILET TISSUE HOLDER	4 1/8x16x4x2 5/16 "	
		H04	2	K-10555-BN DEVONSHIRE ROBE HOOK	2 3/16x3 3/16x3 3/16 "	
		H05	2	MANTELS DIRECT SYDNEY FIREPLACE MANTEL	66x38x55 3/4 "	
		H06	8	6" WIRE SHELF	54 1/2x24x16 "	
		H07	10	CLOSET SHELF W/ ROD	36x12x1 "	
		H08	4	CLOSET SHELF W/ ROD	54 1/2x12x1 "	
		H09	2	CLOSET SHELF W/ ROD	45x12x1 "	
		H10	2	CLOSET SHELF W/ ROD	60x12x1 "	
		H11	2	6" DEEP REFRIGERATOR MALL CABINET BUMP-OUT / SOFFIT	36x35 5/8 "	
		H12	1	4" HOUSE NUMBER "1"	1 1/2x14x4 "	
		H13	1	4" HOUSE NUMBER "2"	2 5/8x14x4 "	
		H14	1	4" HOUSE NUMBER "3"	2 5/8x14x4 "	
		H15	1	4" HOUSE NUMBER "4"	2 5/8x14x4 "	



REVISION TABLE	
NUMBER	DATE

TITLE:
**INTERIOR DESIGN
HARDWARE, TILE &
APPLIANCES**

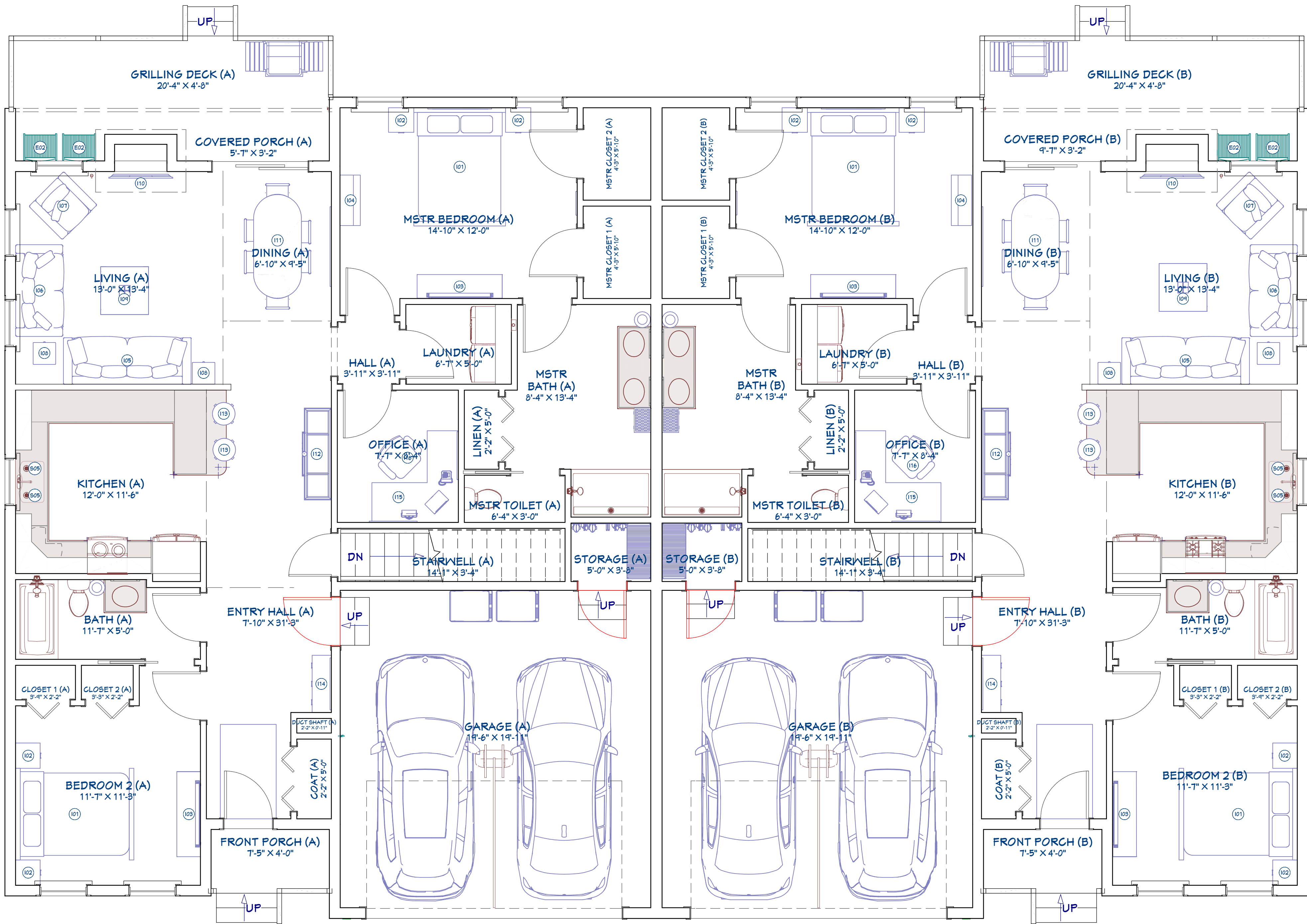
PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:
5/12/2021

SCALE:
1/4" = 1'

SHEET:
1.1102



ROTATE 12.0° N
ROTATE 12.0° N
BUILDING 1 BUILDING 2

FURNITURE SCHEDULE - INTERIOR				
NUMBER	3D PERSPECTIVE	QTY	DESCRIPTION	DIMENSIONS
101		4	QUEEN BED	69X84X43 "
102		8	NIGHTSTAND	19X19X24 "
103		4	DRESSER W/MIRROR	64X18X78 "
104		2	TALL DRESSER	38X16X53 "
105		2	SOFA	96X36X36 "
106		2	LOVE SEAT	64X36X36 "
107		2	ARMCHAIR	37X36X36 "
108		4	COUCH SIDE TABLE	17X17X21 "
109		2	COFFEE TABLE	36X36X14 "
110		2	55" FLATSCREEN TV	48X3X30 "
111		2	DINING TABLE	52X94X28 "
112		2	CHINA HUTCH	69X22X105 "
113		4	STOOL	19X19X30 "
114		2	ENTRY TABLE	43X15X30 "
115		2	CORNER DESK	65X64X30 "
116		2	OFFICE CHAIR	30X31X48 "

FURNITURE SCHEDULE - ACCESSORIES				
NUMBER	3D PERSPECTIVE	QTY	DESCRIPTION	DIMENSIONS
F01		2	ENTRY RUG	42X11X3/4 "
F02		2	ENTRY MIRROR	39X1X29 "
F03		2	TRI-PHOTO FRAME	48X1X18 "
F04		2	DOUBLE MAT FRAME	18X1X18 "
F05		4	MATTED FRAME	36X1X24 "
F06		2	MATTED FRAME	60X1X48 "
F07		2	DESK LAMP	12X1X13 "
F08		4	WASTE BASKET	12X12X15 "

FURNITURE SCHEDULE - EXTERIOR				
NUMBER	3D PERSPECTIVE	QTY	DESCRIPTION	DIMENSIONS
E01		2	BBQ GRILL	58X27X52 "
E02		4	SUN CHAIR	25X20X34 "



REVISION TABLE	
NUMBER	DATE

TITLE:
**INTERIOR DESIGN
FURNITURE**

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
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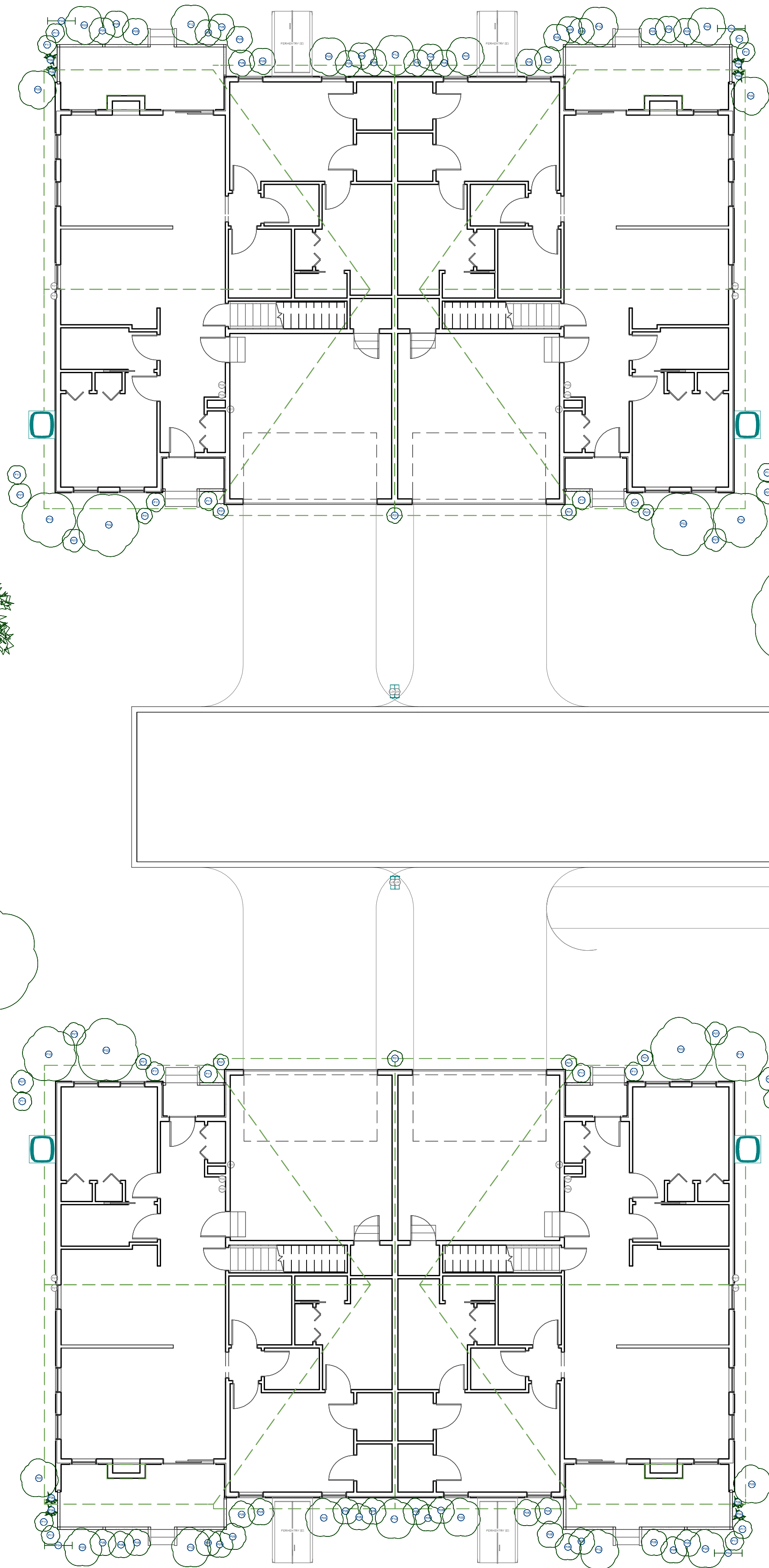
DATE:
5/12/2021

SCALE:
1/4" = 1'

SHEET:
1.1103

361.333'
1577° 53' 22"E

200' SHADOWBOX FENCE



115' REBUILD STONEWALL

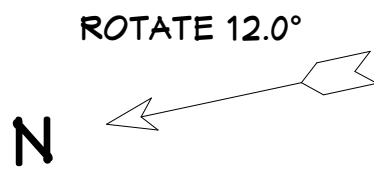
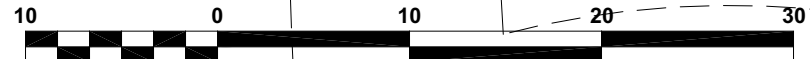
N12° 6' 38"E
214.182'

REMOVE 15'

52' BUILD STONEWALL













53' REBUILD STONEWALL

N12° 45' 8"E
50.880'



FIXTURE SCHEDULE - STREET						
AS SYMBOL	ISE ELEVATION	NUMBER	QTY	DESCRIPTION	WIDTH	DEPTH HEIGHT
	L01	2		CORNER STREET SIGN	31 1/16"	31 1/16" 120"
	L02	1		SPEED LIMIT 15	18"	2" 45 5/8"
	L03	1		STOP	24"	1 5/8" 35 7/16"

FIXTURE SCHEDULE - HOUSE						
AS SYMBOL	ISE ELEVATION	NUMBER	QTY	DESCRIPTION	WIDTH	DEPTH HEIGHT
	L04	2		MAILBOX	6 5/8"	14 5/8" 48"

PLANT SCHEDULE - PER HOUSE																
AS SYMBOL	ISE ELEVATION	NUMBER	QTY	COMMON NAMES	SCIENTIFIC NAME	SUB TYPE	HARDINESS ZONE(S)	STARTING AGE	AGE AT MATURITY	HEIGHT AT MATURITY	MINIMUM HEIGHT	MAXIMUM HEIGHT	SOIL NEEDS	SUN NEEDS	BLOOM TIME	FLOWER COLOR
	P01	5		INKBERRY GALLBERRY	ILEX GLABRA	EVERGREEN	4 - 9	30 MONTHS	60 MONTHS	12"	24"-45"	4'-5'		PARTIAL, SUN	SPRING, SUMMER	GREEN, WHITE
	P02	2		OAKLEAF HYDRANGEA	HYDRANGEA QUERCIFOLIA	DECIDUOUS	5 - 9	0 MONTHS	0 MONTHS	12"	24"-45"	4'-5'	ACIDIC SOIL	PARTIAL, SUN	WINTER	WHITE
	P03	6		PEEGEE HYDRANGEA, PANICLE HYDRANGEA, TREE HYDRANGEA	HYDRANGEA PANICULATA	DECIDUOUS	5 - 8	24 MONTHS	48 MONTHS	105"	4'-5'	5'-15'	ACIDIC SOIL, NEUTRAL SOIL	PARTIAL, SUN	FALL, SUMMER	WHITE
	P04	2		CLIMBING HYDRANGEA	HYDRANGEA ANOMALA PETIOLARIS	DECIDUOUS	4 - 7	6 MONTHS	12 MONTHS	120"	4'-5'	24"		PARTIAL SHADE, SUN	FALL, SPRING, SUMMER	WHITE
	P05	22		RED TWIG DOGWOOD, REDOSIER DOGWOOD, RED OSIER DOGWOOD	CORNUS STOLONIFERA	DECIDUOUS	4 - 8	12 MONTHS	48 MONTHS	60"	4'-5'	4'-5'	ACIDIC SOIL, ALKALINE SOIL, NEUTRAL SOIL	PARTIAL, SHADE		WHITE
	P06	4		SHRUBBY CINQUEFOIL	POTENTILLA FRUTICOSA	DECIDUOUS	5 - 7	0 MONTHS	0 MONTHS	0"	0'-12"	24"-45"	ACIDIC SOIL, ALKALINE SOIL, NEUTRAL SOIL	PARTIAL, SUN	FALL, SUMMER	WHITE, YELLOW/GOLD
	P07	4		INKBERRY GALLBERRY	ILEX GLABRA	EVERGREEN	4 - 9	40 MONTHS	60 MONTHS	12"	24"-45"	4'-5'		PARTIAL, SUN	SPRING, SUMMER	GREEN, WHITE
	P08	1		FLOWERING DOGWOOD	CORNUS FLORIDA	DECIDUOUS	5 - 9	48 MONTHS	240 MONTHS	240"	5'-15'	5'-15'	ACIDIC SOIL, NEUTRAL SOIL	PARTIAL, SUN	SPRING, SUMMER	WHITE
	P09	1		JUDAS TREE, LOVE TREE	GERGIS SILICUASTRUM	DECIDUOUS	5 - 9	110 MONTHS	240 MONTHS	360"	15'-24"	24"	ACIDIC SOIL	PARTIAL, SUN	SPRING	PINK/ROSE
	P10	2		SUMMERSWEET	CLETHRA ALNIFOLIA	DECIDUOUS	5 - 9	42 MONTHS	48 MONTHS	16"	4'-5'	4'-5'	ACIDIC SOIL, NEUTRAL SOIL	PARTIAL, SHADE, SUN	FALL, SPRING, SUMMER	PINK/ROSE
	P11	10		NEW ENGLAND ASTER, HANDY ASTER, MICHAELMAS DAISY	ASTER NOVAE-ANGLIAE, SYMPHYOTRICHUM NOVAE-ANGLIAE		3 - 9	4 MONTHS	6 MONTHS	42"	24"-45"	24"-45"	ACIDIC SOIL, ALKALINE SOIL, NEUTRAL SOIL	PARTIAL, SHADE	FALL, SUMMER	BLUE/VIOLET, LAVENDER, PINK/ROSE
	P12	3		RED TWIG DOGWOOD, REDOSIER DOGWOOD, RED OSIER DOGWOOD	CORNUS STOLONIFERA	DECIDUOUS	4 - 8	28 MONTHS	48 MONTHS	60"	4'-5'	4'-5'	ACIDIC SOIL, ALKALINE SOIL, NEUTRAL SOIL	PARTIAL, SHADE		WHITE

REVISION TABLE	
NUMBER	DATE
REVISED BY DESCRIPTION	

TITLE:

LANDSCAPING
PLANT & FIXTURE
SCHEDULES

PROJECT DESCRIPTION:

BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:

MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

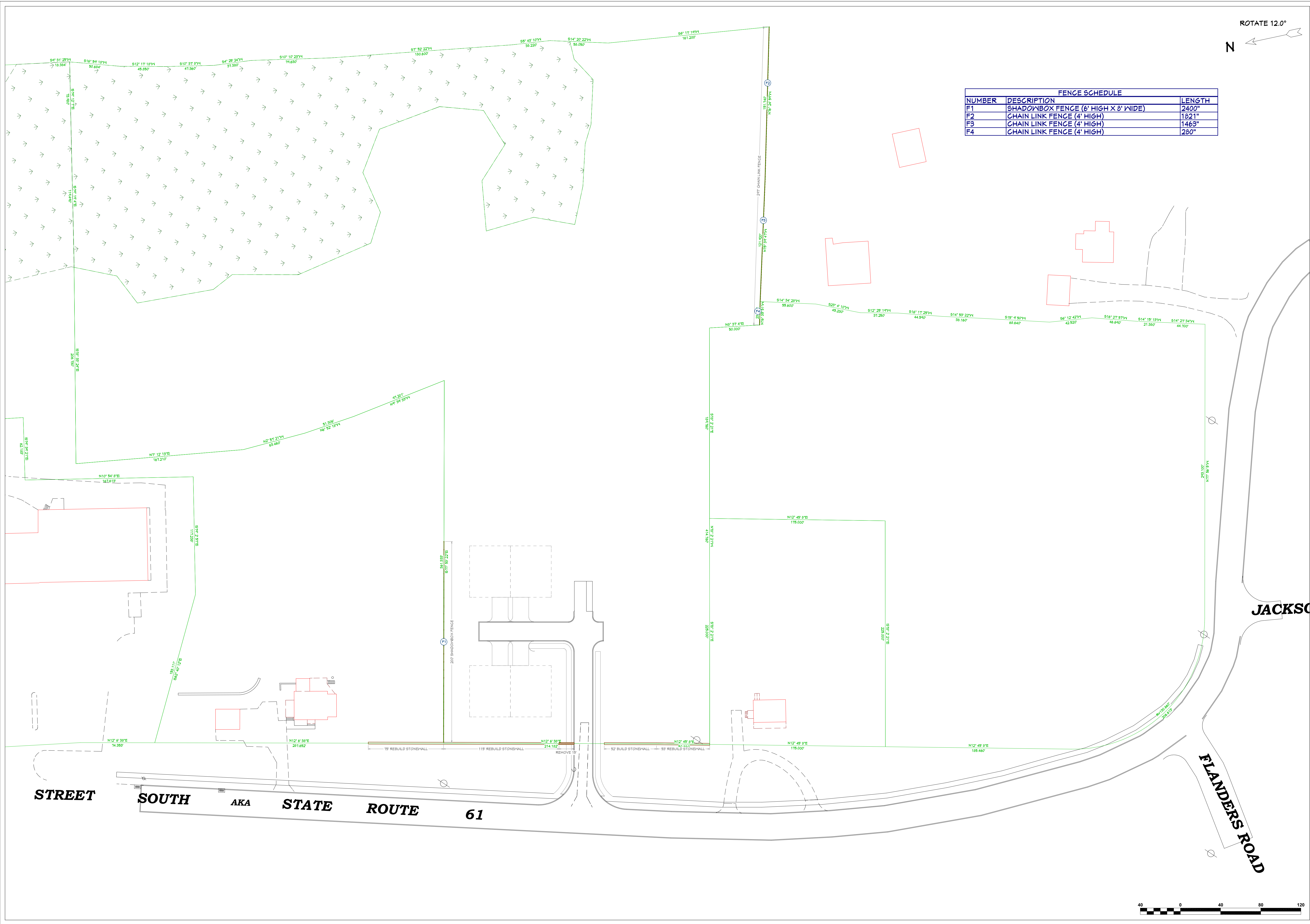
5/12/2021

SCALE:

1" = 10'

SHEET:

1.L101



FENCE SCHEDULE		
NUMBER	DESCRIPTION	LENGTH
F1	SHADOWBOX FENCE (6' HIGH X 8' WIDE)	2400"
F2	CHAIN LINK FENCE (4' HIGH)	1821"
F3	CHAIN LINK FENCE (4' HIGH)	1463"
F4	CHAIN LINK FENCE (4' HIGH)	280"

REVISION TABLE	
NUMBER	DATE

TITLE: **LANDSCAPING
FENCE & STONEWALL
PLAN**

PROJECT DESCRIPTION:
BLUEBIRD MEADOWS - PHASE I
135 MAIN STREET SOUTH
BETHLEHEM, CT 06751

DRAWINGS PROVIDED BY:
MILLSPAUGH PROPERTIES
101 MAIN STREET SOUTH
BETHLEHEM, CT 06751
(203) 266-5252

DATE:

5/12/2021

SCALE:

1" = 40'

SHEET:

1.L102